

CLAREMONT PLANNING COMMISSION

MEETING AGENDA

"We are a vibrant, livable, and inclusive community dedicated to quality services, safety, financial strength, sustainability, preservation, and progress with equal representation for our community."

City Council Chamber
225 Second Street
Claremont, CA 91711



Tuesday
December 17, 2024
7:00 PM

COMMISSIONERS

PARKER G. EMERSON
CHAIR

MARIO ALVAREZ

JOHN DAVIS

ISAAC RAHMIM

RICHARD ROSENBLUTH

K.M. WILLIAMSON

JASON WONG

Meetings are open to the public for in-person attendance. The meeting will be live streamed via Zoom, technology permitting. Members of the public will not be able to provide public comment via Zoom. To watch the meeting via Zoom, use the following link: <https://zoom.us/j/93823869306>. To listen via telephone dial (213)338-8477, Webinar ID: 938 2386 9306. The recorded meeting will be uploaded to the City website and archived.

OPTIONS FOR PUBLIC COMMENT:

Public comment may be provided by one of the following methods. Each speaker will be given up to three (3) minutes to provide their comment.

IN-PERSON LIVE COMMENTS

When the item you wish to speak to is announced, please proceed to the speaker's podium one by one.

E-MAIL/MAIL

Written comments sent to the Planning Commission will be distributed to the Commission and imaged and made available in the record of the meeting in the document archive which can be found on the City website: www.ci.claremont.ca.us Email: natienza@claremontca.gov. Mail: PO Box 880, Claremont, CA 91711.

For assistance, comments, or more information please contact Nhi Atienza, Commission Secretary, (909)399-5484.

CALL TO ORDER THE MEETING OF THE PLANNING COMMISSION

PLEDGE OF ALLEGIANCE

ROLL CALL

CEREMONIAL MATTERS, PRESENTATIONS, AND ANNOUNCEMENTS

PUBLIC COMMENT

The Commission has set aside this time for persons who wish to comment on items that are not listed on the agenda, but are within the jurisdiction of the Planning Commission. Members of the public will have the opportunity to address the Commission regarding all items on the agenda at the time the Commission considers those items.

General public comment will be taken for 30 minutes and will resume later in the meeting if there are speakers who did not get an opportunity to speak because of the 30-minute time limit.

The Brown Act prohibits the Commission from taking action on oral requests relating to items that are not on the agenda. The Commission may engage in a brief discussion, refer the matter to staff, and/or schedule requests for consideration at a subsequent meeting.

CONSENT CALENDAR

All matters listed on the Consent Calendar are considered routine. The Commission may act on these items by one motion following public comment. Only Commissioners may pull an item from the Consent Calendar for discussion.

1. PLANNING COMMISSION MEETING MINUTES OF NOVEMBER 19, 2024

Recommendation: Staff recommends the Planning Commission approve and file the Planning Commission meeting minutes of November 19, 2024.

Attachment(s): Draft Planning Commission Meeting Minutes of November 19, 2024

PUBLIC HEARINGS

2. CONDITIONAL USE PERMIT FILE #24-C05, REVIEW OF A REQUEST TO ALLOW DEVELOPMENT OF A PROPOSED SECOND-STORY RESIDENTIAL UNIT ADDITION TO THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVENUE. APPLICANT - DARLENE MARTINEZ

Recommendation: Staff recommends the Planning Commission:

A. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #24-C05, A REQUEST TO ALLOW DEVELOPMENT OF A PROPOSED SECOND STORY RESIDENTIAL UNIT ADDITION TO THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVE- APPLICANT - DARLENE MARTINEZ; and

B. Find this item is exempt from environmental review under the California Environmental Quality Act (CEQA).

Attachment(s): Draft Resolution
Plans

3. TENTATIVE PARCEL MAP 84366, REQUEST TO MODIFY TWO PARCELS (APNS: 8308-025-004 & 8308-025-013), AND DEDICATE RIGHT-OF-WAY FOR CLAREMONT BOULEVARD AND RELATED TRAFFIC SIGNAL AT NINTH STREET AND CLAREMONT BOULEVARD. APPLICANT - CLAREMONT MCKENNA COLLEGE.

Recommendation: Staff recommends the Planning Commission adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP 84366, WHICH MODIFIES TWO PARCELS (APNS: 8308-025-004 & 8308-025-013), AND DEDICATES RIGHT-OF-WAY FOR CLAREMONT BOULEVARD AND A RELATED TRAFFIC SIGNAL AT NINTH STREET AND CLAREMONT BOULEVARD. APPLICANT - CLARMEONT MCKENNA COLLEGE.

Attachment(s): Draft Planning Commission Resolution
TPM 84366
Amended Site Plan for CMC Master Plan
Amended Claremont Boulevard Concept Plan
Excerpts from Approved Plans for Science Center
Excerpts from the Revised East Campus Sports Bowl and Tunnel Concept Plan

ADMINISTRATIVE ITEMS - None

CONTINUED PUBLIC COMMENT

This time is reserved for those persons who were unable to speak earlier in the agenda because of the 30-minute time restriction.

REPORTS

Staff

Commission/Committee

ADJOURNMENT

THE NEXT REGULAR MEETING OF THE CLAREMONT PLANNING COMMISSION WILL BE HELD ON, JANUARY 7, 2025, AT 7:00 PM, IN THE CLAREMONT COUNCIL CHAMBER, 225 WEST SECOND STREET.

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, THIS AGENDA WILL BE MADE AVAILABLE IN APPROPRIATE ALTERNATIVE FORMATS TO PERSONS WITH DISABILITIES. ANY PERSON WITH A DISABILITY WHO REQUIRES A MODIFICATION OR ACCOMMODATION IN ORDER TO PARTICIPATE IN A CITY MEETING SHOULD CONTACT THE CITY CLERK AT 909-399-5461 "VOICE" OR 1-800-735-2929 "TT/TTY" AT LEAST THREE (3) WORKING DAYS PRIOR TO THE MEETING, IF POSSIBLE.

I, NHI ATIENZA, SR. ADMINISTRATIVE ASSISTANT OF THE CITY OF CLAREMONT, CALIFORNIA, HEREBY CERTIFY UNDER PENALTY OF PERJURY THAT THE FOREGOING AGENDA WAS POSTED AT CLAREMONT CITY HALL, 207 HARVARD AVENUE, ON DECEMBER 12, 2024, PURSUANT TO GOVERNMENT CODE SECTION 54954.2.

POST THROUGH: DECEMBER 18, 2024



Claremont Planning Commission

Agenda Report

File #: 5389

Item No: 1.

TO: PLANNING COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: DECEMBER 17, 2024

SUBJECT:

PLANNING COMMISSION MEETING MINUTES OF NOVEMBER 19, 2024

RECOMMENDATION

Staff recommends the Planning Commission approve and file the Planning Commission meeting minutes of November 19, 2024.

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a copy, please contact Nhi Atienza at natienza@claremontca.gov.

Submitted by:

Prepared by:

Brad Johnson
Community Development Director

Nhi Atienza
Senior Administrative Assistant

Attachment:

Planning Commission Meeting Minutes of November 19, 2024

**PLANNING COMMISSION
REGULAR MEETING MINUTES**

Tuesday, November 19, 2024 – 7 p.m.

Video Recording is Archived on the City Website

<https://www.claremontca.gov/government/city-council/watch-city-council-meetings>

CALL TO ORDER

Chair Emerson called the meeting to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT

COMMISSIONERS: ALVAREZ, DAVIS, EMERSON, RAHMIM, ROSENBLUTH, WILLIAMSON, AND WONG

ABSENT

NONE

ALSO PRESENT

Brad Johnson, Community Development Director; Alex Cousins, Senior Management Analyst; and Nhi Atienza, Senior Administrative Assistant

CEREMONIAL MATTERS, PRESENTATIONS, AND ANNOUNCEMENTS

There were no ceremonial matters, presentations, or announcements.

PUBLIC COMMENT

This item starts at 0:01:49 in the archived video.

Commission Secretary Atienza announced no written public comment had been received.

Chair Emerson invited public comment.

Rachel Forester encouraged City government to speak for her 1700 voters and work towards the needs of tenants, bicyclists, and pedestrians.

There were no additional requests to speak.

Chair Emerson closed public comment.

CONSENT CALENDAR

This item starts at 0:05:18 in the archived video.

Chair Emerson invited public comment on the Consent Calendar.

There were no requests to speak.

Chair Emerson closed public comment.

Commissioner Rosenbluth moved to approve the Consent Calendar, seconded by Commissioner Williamson; and carried on by roll call vote as follows:

AYES: Commissioner - Alvarez, Emerson, Davis, Rahmim, Rosenbluth, Williamson, Wong
NOES: Commissioner - None

1. Planning Commission Meeting Minutes of November 5, 2024
Approved and filed.

PUBLIC HEARINGS - None

ADMINISTRATIVE ITEM

This item starts at 0:07:07 in the archived video.

2. Short-Term Rentals Regulations Review – Study Session

Senior Management Analyst Cousins presented a PowerPoint presentation and addressed Commissioners' inquiries regarding existing vacation rentals, enforcement, revenue, and cost, noise impacts, accessory dwelling unit exclusions, fine collection, Rentalscape company and software, staff resources for implementation,, compositions of current STR, Transient Occupancy Tax calculation, and CUP requirements for vacation rentals.

Chair Emerson invited public comment.

Rachel Forester stated that STR destroys our rental market; we must prohibit them. A rental registry is needed.

Buff Brown supports Claremont Tenants United. He urged the Commission to listen to their requests just as the City had afforded to the Historic Preservation Committee.

Lydia Hernandez is opposed to Short Term Rentals. A rental registry is needed to provide quantifiable numbers to assess its effects.

Vicky Noble stated that home sharing is not a business. It provides supplemental income to the homeowner, and there is a need for it.

There were no additional requests to speak.

Public comment was closed.

Commissioner Williamson is uncomfortable with the ordinance and is open to the comments.

Commissioner Rosenbluth suggested corrections to the draft ordinance language. He favors the ordinance, as it would be an enforceable mechanism before the problem worsens. Noise enforcement should be based on decibels, and a rental registry is needed.

Commissioner Davis recommended a conservative cap for each zone.

Commissioner Alvarez commended staff on the ordinance and is in favor of it. A rental registry is a great idea.

Commissioner Wong favors property rights. The ordinance is good. Section M should be deleted in its entirety. If there is a cap, please make sure the STRs are active.

Vice Chair Rahmim favors regulation. Based on feedback from the Commission, he recommended neighbor noticing, treating accessory dwelling units as junior vacation rentals, and researching language regarding construction on Sundays and Federal holidays (Section M).

Chair Emerson is concerned that the ordinance is solving a problem that has not been defined and does not see how regulating short term rentals would generate revenue.

Commissioner Alvarez stated that the data provided are reliable. Regulating short term rentals would be worthwhile, even at break-even.

Technical Issue with Zoom prevented the recording from 9:17 PM to 9:20 PM

The Commission made the following additional recommendations to the ordinance: a stronger definition for home sharing, a concise categorizing of the different types of short term rentals with separate sections, language for the various types of permits, and an expiration rule.

REPORTS

This item starts at 2:25:14 in the archived video.

Staff

Director Johnson reported on items of interest from the previous City Council meeting and described future upcoming items that will be coming before the Commission.

Commission/Committee

Chair Emerson thanked Commissioner Rosenbluth for informing the Commission of the Y & Y Day Spa advertising.

ADJOURNMENT

Chair Emerson adjourned the meeting at 9:33 PM.

Chair

ATTEST:

Administrative Assistant



Claremont Planning Commission

Agenda Report

File #: 5396

Item No: 2.

TO: PLANNING COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: December 17, 2024

SUBJECT:

CONDITIONAL USE PERMIT FILE #24-C05, REVIEW OF A REQUEST TO ALLOW DEVELOPMENT OF A PROPOSED SECOND-STORY RESIDENTIAL UNIT ADDITION TO THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVENUE. APPLICANT - DARLENE MARTINEZ

SUMMARY

The applicant, property owner Darlene Martinez, is requesting approval of a Conditional Use Permit (CUP) for a second-story addition of a 1,586-square-foot residential unit. The proposed new unit will be created by adding a second story above the existing commercial building footprint near the northeast corner of Yale Avenue and West Second Street at 212 North Yale Avenue. No additional parking beyond the seven existing on-site parking spaces is proposed to be provided as part of the project. Pursuant to AB 2097, a new State law that went into effect on January 1, 2023, cities may not impose minimum parking requirements on residential, commercial, or other development projects if the project is within one-half mile of public transit.

The existing commercial building was built in 1925. While identified as a contributing building in the Village Design Plan, it is not listed on the City's Register of Structures of Historic and Architectural Merit (Local Register). The design of the proposed second-story residential addition, and the first-story façade remodel and interior tenant improvements will also be reviewed by the Architectural & Preservation Commission should the subject CUP be approved. Staff believes that the proposed second-story residential unit is consistent with the Claremont Municipal Code (CMC), General Plan, and Village Design Plan and that all the required CUP findings can be made.

RECOMMENDATION

Staff recommends the Planning Commission:

- A. Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #24-C05, A REQUEST TO ALLOW DEVELOPMENT OF A PROPOSED SECOND STORY RESIDENTIAL UNIT ADDITION TO THE EXISTING COMMERCIAL BUILDING LOCATED AT 212 NORTH YALE AVE-

- APPLICANT - DARLENE MARTINEZ; and
- B. Find this item is exempt from environmental review under the California Environmental Quality Act (CEQA).

ALTERNATIVES TO RECOMMENDATION

In addition to the recommendation, there are the following alternatives:

- A. Continue the item for additional information.
- B. Approve the project with additional or revised Conditions of Approval.
- C. Express an intent to deny CUP #24-C05 in its entirety, specifically identifying the findings of Section 16.303.040 of the CMC that cannot be met, and continue the item to January 21, 2024, for adoption of a denial resolution.

FINANCIAL REVIEW

Costs associated with the review of this application have been borne by the applicant.

ANALYSIS

Background

The project site is a rectangular property of approximately 4,855-square feet located near the northeast corner of Yale Avenue and West 2nd Street. The subject site is located in the Claremont Village Overlay (CVO) zoning district, which is intended to encourage a complementary mix of small-scale retail stores, commercial services, restaurants, offices, and civic uses within a small-town, pedestrian-oriented district. The property has a corresponding General Plan designation of Claremont Village. Residential uses are permitted in the Village where consistent in character with the commercial uses. However, retail and service commercial are the predominant uses in the CV. Located in the heart of the Village, uses surrounding the subject property include the Folk Music Center to the north, Pizzas N Such restaurant to the south, Starbucks Coffee, and Chamber of Commerce to the west, and City Hall to the east. The site is developed with a well-maintained 2,195-square foot building, originally built in 1925.

Like many of the buildings on this block of Yale (between Bonita and Second), this building has been remodeled over time and has lost most of its original architectural features. The original storefront of the building was modified with stucco panels and green tile on the three structural piers sometime in the 1950s or 1960s. The remodel removed all the original windows and covered the original façade materials, which were brick or glazed brick fascia. In 1991, another remodel was done which retained the existing green tile but removed the stucco panels. The remodeled façade incorporated elements used in the historic design such as transom windows, awnings, recessed entry door, and a two-bay façade. The existing building reflects the changes made in this 1991 remodel. Though not listed in the City's Register of Sites of Historic or Architectural Merit, the building is still shown as a contributing building in the Architectural Quality Map of the Village Design Plan.

The Claremont Municipal Code (CMC) Section 16.060.010.G in the Claremont Village chapter allows for mixed residential/commercial developments with the approval of a conditional use permit. This section of the Code specifies that the residential component must be part of a larger mixed-use

development that includes commercial uses on the ground floor and encourages residential uses to be located on the second floor above commercial uses.

This provision of the Code is relevant in that while the Code allows a mechanism for the Planning Commission to provide parking relief for residential development in the Claremont Village zone, the City is no longer able impose minimum parking requirements for development projects within one-half mile of public transit pursuant with AB 2097. The subject property is located within one-half mile of the Claremont Depot Metrolink station, which qualifies as a public transit stop, allowing the property to benefit from the provisions of AB 2097. The subject property will have a total of seven on-site parking spaces following the completion of the second story residential addition's construction.

Project Description

The proposed project consists of the creation of a new 1,586 square-foot second-story residential unit above the existing 2,195 square foot commercial building. The proposed residence would be set back from the existing first-story setback twelve feet. The proposed addition would bring the total floor area for the property to 3,781 square feet. Access to the second story unit would be provided via a new staircase on the east side of the building as depicted in Attachment B. The second story will have a roof height of 27 feet, 2 inches to the top of the new parapet wall. The proposed height is significantly lower than the maximum permitted height of 40 feet and the height limit guideline in the Village Design Plan of 35 feet. The new residential unit would consist of two bedrooms, two bathrooms, a powder room, a living room, a dining room, a kitchen, a sitting area, and two balconies. The balcony to the east facing the parking lot shared with City Hall is 150 square feet and balcony to the west overlooking Yale Ave is 453 square-feet.

Parking

CMC Section 16.060.030.A.5 requires that one off-street parking space is provided for each dwelling unit. It is worth noting that this Code section also states, "the Planning Commission may reduce or increase the specific amount of parking upon a finding that such a reduction or increase is necessary, reasonable and would not defeat the purpose of this requirement."

Pursuant to Government Code Section 65863.2(a), a "public agency shall not impose or enforce any minimum automobile parking requirement on a residential, commercial, or other development project if the project is located within one-half mile of public transit." 212 North Yale Avenue is located 0.2 miles from the Claremont Depot with bus and train services. For this reason, minimum parking requirements cannot be enforced as a requirement for the proposed residential addition.

The existing rear-loaded parking lot is extremely substandard and does not meet any City code required dimensions for stall dimensions, back up, turn-around radius, handicap accessible parking, lighting, landscaping. If the threshold of project cost exceeds \$190,000 the project will be required to provide full property ADA accessibility which may necessitate the removal of existing parking stalls striping for the installation of one ADA van accessible space and an ADA accessible path of travel to the building. This will likely substantially reduce the existing number of existing on-site parking stalls. These details will not be known until the project goes through a detailed building division plan check process and through a certified accessibility specialist (CASp) review. However, based on the recently signed state legislation (AB 2097) described above, the number of parking stalls is not a prerequisite for approving new or expanded residential projects. Staff will ensure however as this item goes through the final plan check and approval process that the parking lot will be reconstructed to meet all City parking lot standards even if this requires removal of several spaces to meet the minimum standards required by zoning code parking lot design standards.

Basis for Recommendation

The approval of a CUP requires that the Planning Commission make certain findings as set forth in Section 16.303.040 of the CMC. Staff has determined that all the findings can be made for this request (Attachment A). Section 16.303.000.C of the CMC notes that the intent of a CUP procedure is to provide for uses that are “appropriate uses in the districts in which they are listed as permitted subject to a conditional use permit but requiring specific consideration of the proposed use or development.”

Staff finds that adding a second-story residential use to create a mixed-use property is appropriate for this unique location in the Village. As one of the few places in the city with numerous amenities all accessible on foot, staff believes that the property is a suitable location to introduce a new residential dwelling unit. With the introduction of new commercial and professional uses on the ground floor, the property will become a hub of day-through-night activity, fitting of the property’s Village context. The project takes advantage of recent changes to State law that encourage the creation of housing in proximity to quality public transit, recognizing that residents in these areas can rely less on vehicle use. The Village’s pedestrian scale and urban feel make it unique in the region’s suburban context. Approval of the CUP to allow for new residential units that benefit from and contribute to the Village’s walkable and livable urbanized environment is warranted. The project has been thoughtfully designed to introduce density in a manner that does not visually overwhelm the building’s simple but effective architecture. Approval of the proposed CUP request would support several of the General Plan’s goals and policies, especially those focused on encouraging sustainable development, providing a variety of housing types, creating activity nodes, and promoting context-sensitive design. The proposal also complies with setbacks, height, design guidelines, and all other development standards, notwithstanding parking requirements, which are set forth in the Code but are superseded by new novel State laws.

CEQA REVIEW

This proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1) for existing facilities, in that the project entails the addition of less than 2,500 square feet to an existing building. Though not explicitly listed on the Claremont Register of Structures of Historic or Architectural Merit, the building is identified as a contributing building in the Village Design Plan and therefore the proposed addition has been designed to be closely consistent with the original structure’s architecture, which has been significantly altered over the years, and as such, will not cause a substantial adverse change in the buildings significance in the context of the Village. Therefore, no further environmental review is necessary.

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a copy, please contact Nhi Atienza at natienza@claremontca.gov.

Submitted by:

Brad Johnson
Community Development Director

Prepared by:

Jordan Goose
Assistant Planner

Reviewed by:

Christopher Veirs
Principal Planner

Attachments:

A - Draft Resolution

B - Plan Set

RESOLUTION NO. 2024-**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT #24-C05, TO ALLOW DEVELOPMENT OF A PROPOSED SECOND STORY RESIDENTIAL UNIT ADDITION TO THE EXISTING COMMERCIAL BUILDING, LOCATED AT 212 NORTH YALE AVENUE. APPLICANT – DARLENE MARTINEZ**

WHEREAS, on September 3, 2024, the applicant filed a request for a Conditional Use Permit (CUP) to develop one new residential unit addition to the existing commercial building located at the subject property, which requires approval of a CUP pursuant to the Claremont Municipal Code; and

WHEREAS, Assembly Bill 2097 (AB 2097) went into effect on January 1, 2023 and prohibits cities from imposing minimum parking requirements for development projects located within a one-half mile of qualifying public transit stops; and

WHEREAS, the Claremont Depot Metrolink Station qualifies as a Major Transit Stop and the subject property is located within a one-half mile radius of this transit stop allowing it to take advantage of the provisions of AB 2097); and

WHEREAS, on December 5, 2024, the site was posted, and a notice of public hearing regarding the Planning Commission hearing on the CUP request was mailed to surrounding property owners in the 300-foot radius of the subject site; and

WHEREAS, on December 17, 2024, the Planning Commission held a public hearing at which time all persons wishing to testify in connection with the Conditional Use Permit request were heard and said proposal was fully studied.

NOW, THEREFORE, THE PLANNING COMMISSION DOES HEREBY RESOLVE:

SECTION 1. The Planning Commission has determined that the proposal is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Class 1) for existing facilities, in that the project entails the addition of less than 2,500 square feet to an existing building. Though not explicitly listed on the Claremont Register of Structures of Historic or Architectural Merit, the building is identified as a contributing building in the Village Design Plan and therefore the proposed addition has been designed to be closely consistent with the original structure's architecture, which has been significantly altered over the years, and as such, will not cause a substantial adverse change in the buildings significance in the context of the Village. Therefore, no further environmental review is necessary.

SECTION 2. The Planning Commission finds that the review criteria of Section 16.303.040 of the Claremont Municipal Code (CMC) can be met regarding the above-described project as follows:

- A. The subject site is adequate in size and shape to accommodate the proposed development of one new residential unit addition to the second story of the

existing commercial building. The new unit would be constructed over the existing building without expanding the building footprint. The new construction would add one story to the existing building to create a residential unit that would reach a maximum height of 27 feet, 2 inches, in compliance with the 40-foot maximum height requirement for the CV zone. The existing rear-loaded parking lot will lose several stalls to meet the minimum zoning code parking lot design standards, however, AB 2097 prohibits cities from imposing minimum parking requirements for development projects located within one-half mile of a major transit stop. While parking stalls would be reduced in this project, the walkable, amenity-rich context of the Claremont Village allows the introduction of residential units without having to provide dedicated parking for these units.

- B. The proposed residential unit relates appropriately to streets and highways properly designed to carry the type and quantity of traffic generated by the subject use. The property is located near the corner of West Second Street and Yale Avenue in the heart of Claremont Village. Vehicular access to the property is provided via three drive aisles where vehicles can enter from either North Harvard Avenue, West Second Street, or West Bonita Avenue. The additional traffic generated by the new residential use does not represent a significant increase in traffic on surrounding streets, which are designed to carry high volumes of traffic stemming from the vibrant mix of uses in the Claremont Village.
- C. The proposed project, which adds one residential unit, is appropriate for and compatible with the surrounding urban context and will not impair the integrity or character of the Claremont Village zoning district in which it is located. The Village is characterized by its mix of retail, hospitality, public, office, and residential uses set in a walkable, urban context. The proximity of public transit located south of the CV district provides the opportunity to take advantage of the vibrant mix of uses without relying on the use of a vehicle. The second-story addition creating a new residential use on the upper floor of the building, along with the proposed ground-floor commercial tenant improvements and façade remodel, activates the property with day-through-night uses, contributing to the vibrant Village milieu and allows for future residents of the property to take advantage of the Village's rich amenities. The design of the building introduces this new density in a manner that resembles surrounding development in terms of appropriate two-story massing, design, and historic character. Additionally, the design meets all development standards outside of parking requirements, which are addressed above in finding A.
- D. The proposed mixed-use development is not contrary to the General Plan. Rather, this approval will support the following General Plan goals:
 - 1. *Encourage sustainable development that incorporates green building best practices and involves the reuse of previously developed property (Policy 2-1.1);* in that the proposed project promotes a sustainable lifestyle that takes advantage of the Village's walkable character and doesn't rely on regular vehicle use. By introducing housing in an amenity-rich area on a

developed site, the project proposed sustainable practices while creating new housing opportunities where they previously did not exist.

2. *Utilize mixed-use development to create unique and varied housing, where appropriate (Policy 2-3.2) and;* in that the project seizes upon an opportunity presented by new state laws that decouple new housing development from parking requirements, allowing for the introduction of small-scale residential uses in Claremont's urban core where they previously would not have been possible given the constrained availability of land to provide on-site parking. The project will help meet an unmet demand for housing in the Claremont Core and will help the City meet its housing goals.
 3. *Insist on excellence in architectural design of new construction in the City (Policy 2-5.1); and Promote community identity and local history by encouraging context-sensitive design and development (Goal 2-11);* in the project has a design that is sensitive to the character and scale of the surrounding historic buildings and adds high quality exterior materials such as natural brick to the facade.
 4. *Continue to encourage pride in the quality and character of historic areas. (Policy 2-14.3);* in that the proposed project creates new housing opportunities in a unique location that builds upon the synergies present in the historic Village, contributing to its function as the social and mercantile core of the City. The additions to the building are sensitively designed to introduce a new use to the property without detracting from the quality and character of this important Village block.
- E. The proposed use will not endanger or otherwise constitute a menace to the public health, safety, or welfare in that the use will not significantly alter the use patterns of the subject site and surrounding Village core, nor will it introduce use patterns that would constitute a menace to the public health, safety or general welfare.

SECTION 3. The Planning Commission hereby approves Conditional Use Permit (File #24-C05), based on the findings of Section 16.303.040 of the Claremont Municipal Code outlined in Section 2 above, and subject to the following conditions:

- A. This approval is for the site plan, floor plans, and elevations for the development of a proposed second-story residential unit addition to the existing commercial building located at 212 North Yale Avenue. The proposed 1,586 unit will consist of two bedrooms, two baths, a powder room, a dining room, a living room, a kitchen, a sitting area, and two balconies.
- B. The existing parking lot shall be redesigned through the building plan check process, introducing new landscaping and adequate stall striping to meet zoning code standards. The parking lot shall be ground and overlaid with a minimum of 2 inches of new asphaltic concrete and re-graded to meet ADA slope

maximums if determined by the Certified Accessibility Specialist (CASp) plan check reviewer.

- C. This approval is valid for two years from the date of Planning Commission action. If Architectural & Preservation Commission approval of the project's proposed design is not obtained, or building permits are not issued, or a time extension has not been granted during this time frame, this approval shall automatically expire without further action by the City. The Community Development Director is authorized to grant a one-year extension upon written request from the applicant that there were unavoidable delays.
- D. If any portion of the project described in Condition A is discontinued or altered without prior approval of an amendment to the CUP, the matter may be referred to the Planning Commission to initiate the proceedings for the revocation of this CUP.
- E. Prior to the issuance of demolition or building permits, the applicant shall:
 - 1. Gain Architectural & Preservation Commission approval of the Architectural and Design Review for the project.
 - 2. Ascertain and comply with all requirements of the City's Building and Engineering Divisions, including the submittal of complete architectural, electrical, mechanical, and structural plans duly wet stamped and signed by a licensed architect or engineer.
 - 3. The construction documents submitted for plan check shall be in substantial conformance with both the plans approved herein and those approved Architectural Commission approval and include any revisions that may be required during the Architectural Commission's review of the project.
 - 4. Pay all outstanding development review fees associated with this review File #24-C05.
- F. Any signage proposed for the ground floor commercial use shall be reviewed and approved by the City pursuant to the review responsibilities outlined in Title 18 of the Claremont Municipal Code and shall fully comply with all applicable City regulations and standards.
- G. To ensure compliance with the provisions of this approval, a final inspection is required from the Planning Division when work has been completed. The applicant shall inform the Planning Division and schedule an appointment for such an inspection.
- H. Noncompliance with any condition of this approval shall constitute a violation of the City's Municipal Code. Violations may be enforced in accordance with the provisions of the administrative fines program of Chapter 1.14 of the Claremont Municipal Code.

- I. The applicant/owner, by utilizing the benefits of this approval, shall thereby agree to defend at its sole expense any action against the City, its agents, officers, and employees because of the issues of such approval. In addition, the applicant/owner shall reimburse the City et al for any court costs and attorney fees that the City et al may be required to pay as a result of such action. The City may, at its sole discretion, participate at its own expense in the defense of any such action, but such participation shall not relieve the applicant/owner of its obligation hereunder.

- J. Failure to comply with any of the conditions, including design issues as shown on plans reviewed and approved by the City of Claremont, may result in failure to obtain a building final and/or a certificate of occupancy until full compliance is reached. The City's requirement for full compliance may require minor corrections and/or complete demolition of a non-compliant improvement, regardless of costs incurred, where the project does not comply with design requirements and approvals that the applicant agreed to when permits were pulled to construct the project.

Section 4. The Planning Commission Chair shall sign this Resolution and the Commission secretary shall attest and certify to the passage and adoption thereof.

PASSED, APPROVED, AND ADOPTED this 17th day of December 2024.

Planning Commission Chair

ATTEST:

Planning Commission Secretary



250 S Pasadena Ave,
Pasadena, CA 91105
CELL: (760) 673-6837
j.flores@evok.studio

212 N YALE OFFICES AND RESIDENCE

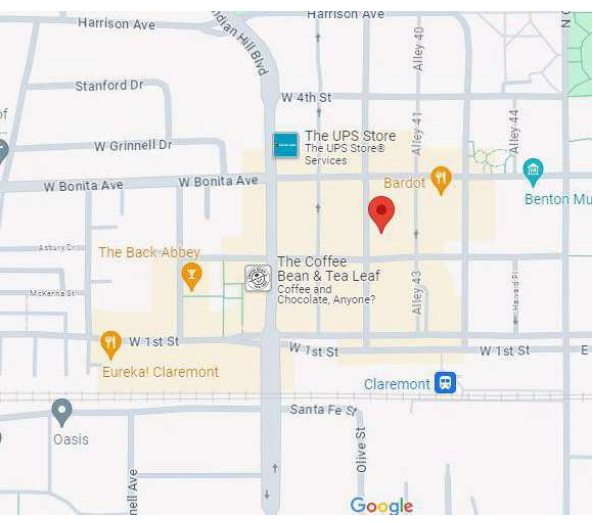
212 N YALE AVE, CLAREMONT, CA 91711



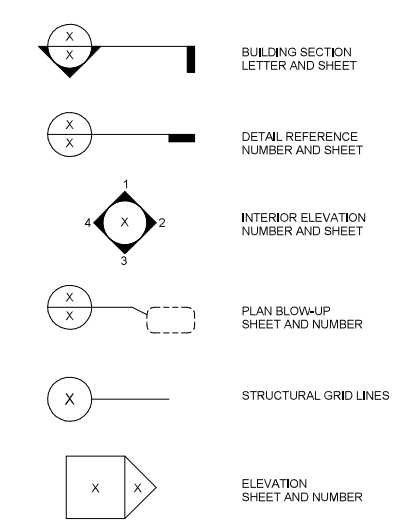
ARCHITECTURAL ABBREVIATIONS

@	AT CENTERLINE	EA	EACH	MATL	MATERIAL	S&P	SHELF AND POLE
L	DIAMETER	EJ	EXPANSION JOINT	MAX	MAXIMUM	SEL	SELECT
∅		ELEC	ELECTRICAL	MB	MACHINE BOLT	SH	SINGLE HUNG
AB	ANCHOR BOLT	ENCL	ENCLOSURE	MC	MEDICINE CABINET	SHT	SHEET
AC	AIR CONDITIONING	EQ	EQUAL	MECH	MECHANICAL	SHTG	SHEATING
ADJ	ADJACENT	EW	EACH WAY	MED	MEDICAL	SHWR	SHOWER
AFF	ABOVE FINISH FLOOR	(E)	EXISTING	MFG	MANUFACTURER	SKL	SIMILAR
ALUM	ALUMINUM	EXT	EXTERIOR	MIN	MINIMUM	SKL	SKYLIGHT
		FAU	FORCED AIR UNIT	MISC	MISCELLANEOUS	SL	SLIDER (WINDOW)
		FF	FINISH FLOOR	MTL	METAL	SLDG	SLIDING
BD	BOARD	FG	FIXED GLASS	N	NORTH	SQ	SQUARE
BLDG	BUILDING	FL	FLAT	NAT	NATURAL	STL	STEEL
BLK	BLOCK	FM	FINISH	NIC	NOT IN CONTRACT	STOR	STORAGE
BLKG	BLOCKING	FJ	FLOOR JOIST	NO	NUMBER	STR	STRUCTURAL
BM	BEAM	FO	FACE OF	NTS	NOT TO SCALE	T	TREAD
BO	BOTTOM OF	FLR	FLOOR	O	OVER	T&B	TOP & BOTTOM
BOBM	BOTTOM OF BEAM	FLUOR	FLUORESCENT	NAT	NATURAL	T&G	TONGUE & GROOVE
		FND	FOUNDATION	OBS	OBSCURE	TC	TRASH COMPACTOR
CAB	CABINET	FTG	FOOTING	OC	ON CENTER	TO	TOP OF
CB	CATCH BASIN	FHWS	FLATHEAD WOOD SCREW	OD	OUTSIDE DIAMETER	TOB	TOP OF BEAM
CJ	CONTROL JOINT	FURR	FURRED	OH	OVERHEAD	TOM	TOP OF MASONRY
CLG	CEILING	GA	GAUGE	OPG	OPENING	TOP	TOP OF PARAPET
CLR	CLEAR	GD	GARAGE DISPOSAL	OS	OVERFLOW SCUPPER	TOPL	TOP OF PLATE
CMU	CONCRETE MASONRY UNIT	GLB	GLU LAM BEAM	PERF	PERFORATE	TOS	TOP OF SHEETING
CO	CLEANOUT	GS	GALVANIZED STEEL	PLYWD	PLYWOOD	THK	THICK
COL	COLUMN	GYP	GYP SUM BOARD	PR	PREFABRICATED	TMFR	TEMPERED GLASS
COMP	COMPOSITE SHINGLES	HDR	HEADER	PVC	POLYVINYL CHLORIDE	TV	TELEVISION
CONC	CONCRETE	HGT	HEIGHT	PREFAB	PREFABRICATED	TYP	TYPICAL
CONST	CONSTRUCTION	HTR	HEATER	R	RADIUS/RISER	UNO	UNLESS NOTED OTHERWISE
CONT	CONTINUOUS	HVAC	HEATING/VENTILATING/AIR CONDITIONING	RD	REDWOOD	VIF	VERIFY IN FIELD
CSK	COUNTER SINK	HW	HOT WATER	RDWD	ROUGH OPENING	W	WITH
CSMT	CASEMENT	INS	INCH	REFR	REFRIGERATOR	WIO	WITHOUT
CT	CERAMIC TILE	INT	INTERIOR	REQD	REQUIRED	WC	WATER CLOSET
CTR	CENTER	INSUL	INSULATION	RM	ROOM	WD	WOOD
CW	COLD WATER	JST	JOIST	RO	ROUGH OPENING	WH	WATER HEATER
		LAM	LAMINATE	RS	ROUGH SAWN	WIR	WROUGHT IRON
		LAV	LAVATORY	RWD	REDWOOD	WP	WATERPROOF
				SF	SQUARE FEET	WR	WATER RESISTANT
				SHLF	SHELF	WWF	WELDED WIRE FABRIC
				SHLV	SHELVING	WWW	WELDED WIRE MESH
				SS	STAINLESS STEEL		

VICINITY MAP



ARCHITECTURAL SYMBOLS



GENERAL NOTES

- A. ALL WORK SHALL CONFORM TO: (A) THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE AND ALL RELATED DOCUMENTS PUBLISHED BY THE I.C.C. WHICH HAVE BEEN ADOPTED BY THE LOCAL GOVERNING AGENCY; (B) ALL REGULATIONS AND ORDINANCES OF ALL LOCAL GOVERNING AGENCIES; (C) ANY SPECIAL CONDITIONS REQUIRED BY THE LOCAL GOVERNING AGENCIES; AND (D) ALL CALIFORNIA STATE CODE AMENDMENTS (BUILDING STANDARDS CODE) TITLE 24.
- THE APPLICABLE CODES WILL INCLUDE, BUT SHALL NOT BE LIMITED TO:
 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
 - 2022 CALIFORNIA BUILDING CODE (CBC)
 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
 - 2022 CALIFORNIA PLUMBING CODE (CPC)
 - 2022 CALIFORNIA ENERGY CODE (CEC)
 - CLAREMONT MUNICIPAL CODE
- B. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE, ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE SHALL BE PROCEEDING AT HIS OWN RISK.
- C. OMISSIONS FROM THE DRAWINGS AND SPECIFICATION OR THE MISDESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MISDESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- D. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWINGS SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- E. APPROVED NUMBERS OR ADDRESSES (PER CITY OF CLAREMONT) SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTOR SHALL COORDINATE THE LOCATION WITH THE ARCHITECT.
- F. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL PLUMBING FIXTURES INCLUDING TOILETS, TUBS, SHOWERS, LAVATORIES, SINKS AND ALL APPROPRIATE FAUCETS, TRIM AND DRAINS. THE OWNER SHALL SELECT ALL COLORS, FINISH AND OPTIONS.
- G. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF THE MECHANICAL HEATING AND DISTRIBUTION SYSTEM IN COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS.
- H. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL ELECTRICAL LIGHT FIXTURES (THEIR COLOR, TYPE AND FINISH), AND SWITCHPLATED AND OUTLETS (COLOR AND TYPE). THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND HEIGHTS OF ALL OUTLETS, LIGHTING FIXTURES, ETC. WITH THE ARCHITECT.
- I. THE CONTRACTOR SHALL COORDINATE WITH OWNER FOR THE SELECTION OF ALL KITCHEN APPLIANCES (COLOR, TYPE AND OPTIONS).
- J. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION AND PROPER LOCATIONS OF ALL BATHROOM SPECIALTIES INCLUDING, BUT NOT LIMITED TO, MIRROR, CABINETS, TOWEL BARS AND HOOKS, TOILET PAPER DISPENSER, SOAP DISH AND SHOWER ENCLOSURE.
- K. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE DESIGN OF BUILT-IN CABINETS INCLUDING DOOR AND DRAWER LOCATIONS, TYPES OF HINGES, PULLS AND SLIDING HARDWARE. THE OWNER SHALL SELECT THE TYPE OF MATERIALS, COLOR AND FINISH FOR CABINETS.
- L. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL INTERIOR FINISHES INCLUDING FLOOR COVERINGS AND UNDERLAYMENTS, PAINT (INCLUDING NUMBER OF COATS), OTHER WALLCOVERINGS, BASE AND CASE, LAMINATES, TILE, ETC.
- M. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER FOR THE SELECTION OF ALL DOOR HARDWARE, INCLUDING, BUT NOT LIMITED TO, DOOR LATCHES, HINGES, CABINET HARDWARE, ETC. (TYPES AND FINISHES).
- N. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE APPLICABLE BUILDING CODES AS WELL AS ANY OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF ANYONE SUPPLYING LABOR, MATERIALS, OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER, ENGINEER, GENERAL CONTRACTOR AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.

ADDITIONAL GENERAL NOTES

- a. THE CONSTRUCTION SHALL NOT RESTRICT A FIVEFOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- b. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- c. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- d. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- e. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- f. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- g. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED). (R308.6.9)
- h. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
- i. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE DWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECS. MAX.) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR. (R109 OF LABC)
- j. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR THE SUCTION OUTLETS OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY BILL (AB) NO. 2677. (3162B)
- k. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4)
- l. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- m. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2.)
- n. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 5 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- o. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE

PROJECT DATA

LEGAL DESCRIPTION:	A.P.N.:	8313-019-005
	LOT:	14
	BLK:	37
ZONE:	CV	
LOT AREA:	4,855 SQ. FT.	
TYPE OF CONSTRUCTION:	V-B	
OCCUPANCY GROUP:	R-2	
BUILDING HEIGHT:	27' - 2"	
NUMBER OF STORIES:	2	
(E) FIRE SPRINKLER SYSTEM:	NO	
(N) FIRE SPRINKLER SYSTEM:	NO	

RESIDENTIAL FLOOR AREA (R.F.A.)					
AREA	EXISTING (sq. ft.)	NEW (sq. ft.)	DEMO (sq. ft.)	CREDIT (sq. ft.)	TOTAL (sq. ft.)
OFFICES	2,195	0,0	0,0	0,0	2,195
RESIDENTIAL UNIT	0,0	1,586	0,0	0,0	1,586
TOTAL RFA AREA					3,781

REVISIONS		
No.	Description	Date

212 N YALE OFFICES AND RESIDENCE

JOB SITE:
212 N Yale Ave, Claremont, CA 91711
PHONE:
(760) 673-6837

PLAN CHECK / JOB NO.

TITLE SHEET

Project Number	Project Number
Date	Issue Date
Drawn By	J.F.
Checked By	Checker

Scale 1/4" = 1'-0"

DIRECTORY

OWNER	ARCHITECT
Bluebird Investment Group LLC DARLENE MARTINEZ 212 YALE AVE, CLAREMONT, CA 91711 TEL: 909.772.5759 Email: darleneecrystal18@gmail.com	369 Architects Inc, MARC ABDEL SAYED 50 DE LACEY AVE, STE 210 PASADENA CA 91105 CELL: 310.625.2836 Email: m.abdelsayed@369architects.com

SHEET INDEX

T-1	TITLE SHEET
GN-1	SITE PLAN GENERAL NOTES
GN-2	GENERAL ARCHITECTURAL NOTES
A-1,0	EXISTING & PROPOSED SITE PLAN
A-2,0	EXISTING & PROPOSED FLOOR PLAN
A-2,1	PROPOSED 2ND FLOOR & ROOF PLANS
A-2,2	PROPOSED LANDSCAPE & LIGHTING PLAN - SITE PLAN
A-2,3	PROPOSED LANDSCAPE & LIGHTING PLAN - 2ND FLOOR
A-3,0	EXTERIOR ELEVATIONS
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A-3,2	3D VIEWS
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A-4,0	SITE SECTIONS
A-4,1	WINDOW AND DOOR SCHEDULE + DETAILS
A-4,2	
A-4,3	MATERIAL BOARD

DESCRIPTION OF WORK:

- THE PROJECT CONSIST OF 2 STORY MIXED USED BUILDING (E) 1ST FLOOR TO BE OF 2,195 SQ.FT. AND A NEW RESIDENTIAL UNIT ON 2ND FLOOR OF 1,586 SQ.FT.
- FIRE SPRINKLER SYSTEM NFPDA 13D. (UNDER SEPARATE PERMIT)

GENERAL REQUIREMENTS

The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.

An approved seismic gas shutoff valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (per ordinance 170.158) (separate plumbing permit is required).

Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3).

Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4).

Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).

Provide ultra-low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.

Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). (R308.6,9)

Water heater must be strapped to wall. (Sec. 507.3, LAPC)

For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 sees, max.) for a single opening. The deactivation switch shall be at least 54" above the floor. (5109 of LABC)

For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. (3162B)

Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)

Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.6,2)

Where a permit is required for alterations, repairs or additions exceeding one thousand dollars (\$1,000) existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R315.2,2)

Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)

A copy of the evaluation report and/or conditions of listing shall be made available at the job site

Heater shall be capable of maintaining a minimum room temperature of 68°F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature. (R303.9)

FIRE-RESISTANCE RATED CONSTRUCTION

Through penetrations of fire-resistance-rated wall or floor assemblies shall comply with Section R302.4.1.1 or R302.4.1.2. (SEE DETAIL AT GN1.0)

Membrane penetrations shall comply with Section R302.4.1. Where walls are required to have a fire-resistance rating, recessed fixtures shall be installed so that the required fire-resistance rating will not be reduced. (R302.4.2)

FIRE PROTECTION

The building shall be equipped with an automatic residential fire sprinkler system in accordance with section R313.3 or NFPA13D. (R313.12,21A17(d))

The Sprinkler System shall be approved by Plumbing Division prior to installation

An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back-up and low battery signal. (R314)

An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)

MEAN OF EGRESS

Provide emergency egress from sleeping rooms. Show details on plans. Minimum - 24" clear height, 20" clear width, 5.7 sf minimum area (5.0 sf at grade level) & 44" maximum to sill. (R310.1)

Provide 32" wide doors to all interior accessible rooms. (6304.1)

Show on plans the entry/exit door must open over a landing not more than 1,5" below the threshold. Exception: Proving the door does not swing over the landing. Landing shall be not more than 7.75 below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (R311.3.1)

BUILDING ENVELOPE

Provide a class A, B or C fire-retardant roof covering per Section R902.1

Glazing in the following locations shall be safety glazing conforming to the human impact loads of Section R308.3 (see exceptions) (R308.4):

a. Fixed and operable panels of swinging, sliding and bifold door assemblies.

b. Glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge is within a 24-inch arc of the door in a dosed position and whose bottom edge is less than 60 inches above the floor or walking surface.

c. Glazing in an individual fixed or operable panel that meets all of the following conditions:

- 1) Exposed area of an individual pane greater than 9 square feet,
- 2) Bottom edge less than 18 inches above the floor,
- 3) Top edge greater than 36 inches above the floor,
- 4) One or more walking surfaces within 36 inches horizontally of the glazing.

d. Glazing in railings.

e. Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers where the bottom edge of the glazing is less than 60 inches measured vertically above any standing or walking surface.

f. Glazing in walls and fences adjacent to indoor and outdoor swimming pools, hot tubs and spas where the bottom edge of the glazing is less than 60 inches above a walking surface and within 60 inches, measured horizontally and in a straight line, of the water's edge.

g. Glazing where the bottom exposed edge of the glazing is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.

h. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within 60 inches horizontally of the bottom tread.

Dampproofing, where required, shall be installed with materials and as required in Section R406.1

Vehicular access doors shall comply with Section R612.4.

Skylight and sloped glazing shall comply with section R308.6

Lots shall be graded to drain surface water away from foundation walls with a minimum fall of 6 inches within the first 10 feet (401.3).

Buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. (R319.1)

Protection of wood and wood based products from decay shall be provided in the locations specified per Section R317.1 by the use of naturally durable wood or wood that is preservative-treated in accordance with AWPA U1 for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA U1.

Provide anti-graffiti finish within the first 9 feet, measured from grade, at exterior walls and doors. Exception: maintenance of building affidavit is recorded by the owner to covenant and agree with the City Of Los Angeles to remove any graffiti within 7-days of the graffiti being applied. (6306)

BUILDING & SAFETY GENERAL NOTES

1. All entry doors to dwelling units or guest rooms shall be arranged so that the occupant has a view of the area immediately outside the door without opening the door. Such view may be provided by a door viewer, through windows located in the vicinity of the door or through view ports in the door or adjoining wall. (6706)

2. Screens, barricades, or fences made of a material which would preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface which is within 8 ft. of the utility pole or similar structures. (6707)

3. Wood flush-type doors shall be 1 3/8" thick minimum with solid core construction. 91.6709.1 - Door stops of in swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb. (6709.4)

4. Every door in a security opening for an apartment house shall be provided with a light bulb (60 watt min.) At a maximum height of 8 feet on the exterior. (6708)

5. All pin-type door hinges accessible from outside shall have non-removable hinge pins. Hinges shall have min. 1/4" dia. steel jamb stud with 1/4" min. protection. The strike plate for latches and holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws no less than 2-1/2" long. (91.6709.5, 6709.7)

6. Provide dead bolts with hardened inserts; deadlocking latch with key-operated locks on exterior. Doors must be operable from the inside without a key, special knowledge, or special effort (latch not required in B, F, and S occupancies). (6709.2)

7. Straight dead bolts shall have a min. throw of 1" and an embedment of not less than 5/8" and a hook-shaped or an expanding-lug deadbolt shall have a minimum throw of 3/4". (6709.2)

8. Wood panel type doors must have panels at least 9/16 in. thick with shaped portions not less than 1/4 in. thick and individual panels must be no more than 300 sq. in. in area. Mullions shall be considered a part of adjacent panels except mullions not over 18 inches long may have an overall width of not less than 2 inches. Stiles and rails shall be of solid lumber in thickness with overall dimensions of not less than 1 3/8 inches and 3 inches in width. (91.6709.1, item 2)

9. Sliding doors shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. (6710)

10. Sliding glass doors panels shall be closed and locked when subjected to the tests specified in Sec. 6717.112.

11. Metal or wooden overhead or sliding doors shall be secured with a cylinder lock, padlock with a min. 9/32" diameter hardened steel shackle and bolted, hardened steel hasps, metal slide board, bolt or equivalent device unless secured electrically operated. (6711)

12. Provide metal guides at top and bottom of metal accordion grate or grille-type doors and cylinder locks or padlocks. Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools. (6712)

14. Glazed openings within 40" of the door lock when the door is in the closed position, shall be fully tempered glass or approved burglary resistant material, or shall be protected by metal bars, screens or grills having a maximum opening of 2". The provisions of this section shall not apply to view ports or windows which do not exceed 2" in their greatest dimensions. (6713)

15. Louvered windows shall be protected by metal bars or grills with openings that have at least one dimension of 6" or less, which are constructed to preclude human entry. (6715.3)

16. Other operable windows shall be provided with substantial locking devices. In B, F, M and S occupancies, such devices shall be glide bars, bolts, cross-bars, and/or padlocks with minimum 9/32" hardened steel shackles and bolted, hardened steel hasps. (6715.2)

17. Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the moving panel in the closed or partially open position. 6715.1

18. Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in Sec. 6717.2.

19. Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are installed shall be located on the inside of the adjacent room and at least 24 inches from the closest opening through such metal bars, grills, grates or similar devices that exceeds two inches in any dimension. (6715.4)

20. All other openings must be protected by metal bars or grilles with openings of not less than 6 inches in one dimension. (6716.6)



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No.	Description	Date

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PLAN CHECK / JOB NO.

PLAN:

SITE PLAN GENERAL NOTES

Project Number	Project Number
Date	Issue Date
Drawn By	J.F.
Checked By	Checker

GN1

Scale 1/8" = 1'-0"

KITCHEN NOTES

ELECTRICAL NOTES

- ALL KITCHEN COUNTERTOP OUTLETS SHALL BE GFCI PROTECTED, CEC 210.8(A)(6)
- 12" OR WIDER COUNTERTOPS REQUIRE AN OUTLET, CEC 210.52(C)(1)
- OUTLETS ARE REQUIRED WITHIN 24" OF ANY LOCATION ALONG THE COUNTERTOP, CEC 210.52(C)(1)
- KITCHEN OUTLETS MUST BE POSITIONED A MAXIMUM 20" ABOVE COUNTER TOP, CEC 210.52(C)(5)
- APPLIANCES AND SINKS BREAK UP THE COUNTERTOP RUN, REQUIRING EACH SIDE TO COMPLY INDIVIDUALLY, CEC 210.52(C)
- THE ELECTRICAL OUTLET REQUIREMENTS INCLUDE ISLANDS, PENINSULAS, KITCHEN DESKTOPS, WET BARS, AND SERVING BARS. A LARGE WINDOW ACROSS THE BACK OF A SINK OR LACK OF A BACK SPLASH DOES NOT EXEMPT THE COUNTERTOP FROM THE OUTLET REQUIREMENTS, THESE OUTLETS MAY BE IN A DROP FRONT CABINET FACE, UNDER CABINET PLUG STRIP, POP UP OR TOMBSTONE TYPE RECEPTACLE, CEC 210.52(C)(2), (3), (4)
- 2 - SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR KITCHENS, THE LOADS SHALL BE BALANCED AND HAVE NO OTHER OUTLETS, S, CEC 210.52(B)(1), (2)
- INDIVIDUAL DEDICATED CIRCUITS ARE REQUIRED FOR ALL MAJOR APPLIANCES, CEC 210.11(C)(1) & CEC 422.10(A)
- THE GARBAGE DISPOSAL CORD IS LIMITED TO A RANGE OF 18" TO 36" LONG, CEC 422.19(B)(1)
- DISHWASHER CORD 36" TO 48" LONG, ROMEK INSTALLED WITH A PLUG IS NOT AN APPROVED FLEXIBLE CORD, CEC 422.16(B)(2),
- MINIMUM 15 AMP CIRCUIT FOR THE DISHWASHER AND A 15 AMP CIRCUIT FOR THE DISPOSAL, CEC 210.23(A)
- IF USING A SPLIT OUTLET (2 CIRCUITS ON THE SAME YOLK) FOR DISHWASHER/DISPOSAL, PROVIDE A LISTED HANDLE TIE AT THE 2 CIRCUIT BREAKERS AT THE PANEL, CEC210.7(B)
- IC (DIRECT CONTACT) AND AT (AIR TIGHT) RATED CANS ARE REQUIRED FOR RECESSED LIGHTING IF INSTALLED IN AN INSULATED CEILING, FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE RATING OF THE SEPARATION (1 HOUR) OR BE LISTED FOR THE REQUIRED PROTECTION, THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS [Cec 150(K)1,C]

MECHANICAL

- A DUCTED RESIDENTIAL EXHAUST HOOD IS REQUIRED, A METAL, SMOOTH INTERIOR SURFACE DUCT REQUIRED ON VENT HOOD OR DOWN DRAFT EXHAUST VENT, ALUMINUM FLEX DUCT NOT APPROVED, PROVIDE A BACK DRAFT DAMPER, CMC504.3,
- MINIMUM 30" VERTICAL CLEARANCE TO COMBUSTIBLES FROM COOK TOP SURFACE IS REQUIRED, [CMC 921.3.1]
- KITCHEN LOCAL EXHAUST VENTILATION REQUIRES A MINIMUM RATE OF 100CFM MEETING THE REQUIREMENTS OF ASHRA 62.2. THIS INCLUDES A MAXIMUM SOUND RATING OF 3 SONE @ 100CFM.

PLUMBING

- A GAS TEST IS REQUIRED ON PIPING MODIFICATIONS (10 PSI FOR 15 MINUTES), A MAXIMUM 15 PSI GAUGE IS REQUIRED FOR THE GAS TEST, A LOWER GAS PRESSURE TEST MAY BE PERFORMED WHEN USING A RECORDING TEST GAUGE PER SECTION 1214.3 OF THE CPC, [CPC 1213.3]
- GAS LINES THAT RUN UNDER A SLAB SHALL RUN THROUGH AN APPROVED, VENTED, GAS TIGHT CONDUIT, [CPC1210.3.4]
- AN ACCESSIBLE SHUTOFF VALVE SHALL BE INSTALLED OUTSIDE EACH APPLIANCE AND AHEAD OF THE UNION CONNECTED THERETO AND IN ADDITION TO ANY VALVE ON THE APPLIANCE, [CPC 1210.11]
- PROVIDE MAXIMUM 6-FT- LONG LISTED GAS FLEXIBLE CONNECTOR AND SHUT OFF TO FREESTANDING RANGE, [CPC 1212.3.1]
- A LISTED AIR GAP IS REQUIRED FOR THE DISHWASHER DRAIN, [CPC 807.3]
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, [CPC402.4]

ADDITIONAL NOTES

MECHANICAL

- CLOTHES DRYERS SHALL CONFORM TO THE FOLLOWING:
 - a. DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOW UNLESS PERMITTED BY THE MANUFACTURE,
 - b. MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND SHALL BE EQUIPPED WITH BACK DRAFT DAMPER,
 - c. THE TERMINATION OF THE EXHAUST DUCT SHALL HAVE A MINIMUM CLEARANCE OF 3FT, FROM OPENINGS INTO THE BUILDING,

ELECTRICAL

- RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH
 - a. AT LEAST ONE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6-1/2-FT, ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING
- ALL NEW 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES SHALL HAVE A GROUND-FAULT CIRCUIT-INTERRUPTER (GFCI OR GF) PROTECTION WHEN INSTALLED IN THE FOLLOWING LOCATIONS: DISHWASHERS & OUTDOOR (WEATHER-RESISTIVE, TOO)
- ALL 120-VOLT, SINGLE-PHASE 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING NEW OUTLETS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI), COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT WHEN INSTALLED IN THE SINGLE-FAMILY RESIDENCE (BATHROOMS & GARAGES ARE EXCEPT)
- RECEPTACLES, CORD CONNECTORS, AND ATTACHMENT PLUGS SHALL COMPLY WITH THE FOLLOWING: a. ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES IN DWELLINGS SHALL BE LISTED TAMPER-RESISTANT
- EXHAUST FANS WITH INTEGRAL LIGHTING SYSTEM SHALL BE SWITCHES SEPARATELY FROM LIGHTING SYSTEM OR HAVE A LIGHTING SYSTEM THAT CAN BE MANUALLY TURNED ON AND OFF WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.

ADDITIONAL NOTES

- SMOKE ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (BETWEEN 4" AND 12" OF THE CEILING) IN ALL SLEEPING ROOMS, EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH STORY OF THE BUILDING, AND IN ANY BASEMENT, (CBC 907.2.11, CRC 314)
- CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL (ABOVE THE DOOR HEADER) IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS, EACH OCCUPIABLE STORY, AND WITHIN A BEDROOM IF THE BEDROOM OR ATTACHED BATHROOM CONTAINS A FUEL-BURNING APPLIANCE, CO ALARMS ARE NOT REQUIRED IF THERE IS NO FUEL BURNING APPLIANCE OR FIREPLACE IN THE HOUSE AND WHERE THE GARAGE IS DETACHED FROM THE HOUSE., (CBC 907.2.11, CRC 315)

BATHROOM NOTES

SAFETY GLAZING (I.E., TEMPERED) WINDOWS IN BATHROOMS [CRC 308.4.5]

- WINDOWS IN ANY PORTION OF A WALL ENCLOSING TUBS AND/OR SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE,
- WINDOWS WITHIN 60" MEASURED HORIZONTALLY FROM WATER'S EDGE OF A BATHTUB OR WHIRLPOOL TUB OR FROM EDGE OF A SHOWER AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE,

Water Conserving Plumbing Fixtures [California Civil Code 1101.4(a)]

THE CALIFORNIA CIVIL CODE REQUIRES THAT ALL EXISTING NON-COMPLIANT PLUMBING FIXTURES (BASED ON WATER EFFICIENCY) THROUGHOUT THE HOUSE BE UPGRADED WHENEVER A BUILDING PERMIT IS ISSUED FOR REMODELING IMPROVEMENTS EVEN IF THE FIXTURES ARE NOT WITHIN THE SCOPE OF WORK, RESIDENTIAL BUILDING CONSTRUCTED AFTER JANUARY 1, 1994 ARE EXEMPT FROM THIS REQUIREMENT, THE FOLLOWING TABLE SHOWS THE FIXTURES THAT ARE CONSIDERED TO BE NON-COMPLIANT AND THE TYPE OF WATER-CONSERVING PLUMBING FIXTURE THAT SHOULD BE INSTALLED:

TYPE OF FIXTURE	Non-Compliant plumbing fixture	Required Water-Conserving plumbing fixture (max. rate) CalGreen 4.303
WATER CLOSET (TOILET)	MORE THAN 1.8 GAL/ FLUSH	1.28 GALLONS / FLUSH
URINAL	MORE THAN 1.0 GAL/ FLUSH	0.125 GAL / FLUSH FOR WALL MOUNT, 0.50 FOR OTHERS
SHOWER HEAD	MORE THAN 2.5 GAL/ MINUTE	2.0 GALLONS / MINUTE AT 80 PSI
FAUCET-BATHROOM	MORE THAN 2.2 GAL/ MINUTE	1.2 GALLONS / MINUTE AT 80 PSI
FAUCET-KITCHEN	MORE THAN 2.2 GAL/ MINUTE	1.8 GALLONS / MINUTE AT 80 PSI

PLUMBING

- TOILET AND/OR BIDET REQUIRE A TOTAL MINIMUM 30" CLEAR SPACE (15" FROM CENTERLINE TO EACH SIDE) AND A MINIMUM OF 24" CLEAR SPACE IN FRONT OF THE FIXTURE, URINALS REQUIRE A TOTAL MINIMUM 24" CLEAR SPACE (12" FROM CENTERLINE TO EACH SIDE), [CPC 402.5]
- WHEN ADDITIONAL TOILETS (WATER CLOSETS) ARE INSTALLED, A MAXIMUM OF THREE (3) TOILETS ARE ALLOWED ON A 3" WASTE LINE, [TABLE 703.2, FOOTNOTE 4]
- PROVIDE SAFETY GLAZING (TEMPERED) GLASS FOR TUB/SHOWER ENCLOSURES & DOORS, [CRC 308.4.5]
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE CONFORMING TO ASSE 1016 OR ASME A112.18.1/CSA B125.1, HANDLE POSITIONS SHALL BE ADJUSTED TO DELIVER A MAXIMUM MIXED WATER SETTING OF 120° F, [CPC 408.3]
- THE HOT WATER VALVE SHALL BE INSTALLED ON THE LEFT SIDE WHERE TWO SEPARATE HANDLES CONTROL ARE PROVIDED, [417.5]
- A MINIMUM 12"X12" ACCESS PANEL IS REQUIRED WHEN A SLIP JOINT P-TRAP WASTE & OVERFLOW IS PROVIDED FOR INSPECTION & REPAIR, [402.10]
- TOILET / BIDETS**
 - THE WATER SUPPLY TO THE BIDET SHALL BE PROTECTED BY AN AIR GAP OR VACUUM BREAKER, [410.2, 603.3.2, 603.3.3, 603.3.6]
 - THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BIDET SHALL BE LIMITED TO 110° F BY A DEVICE THAT IS IN ACCORDANCE WITH ASSE 1070 OR CSA B125.3, WATER HEATER THERMOSTATS SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION, [410.3]
- SHOWER**
 - SHOWER STALLS SHALL HAVE A MINIMUM INTERIOR FINISHED AREA OF 1.024 SQ.-IN. AND BE ABLE TO ENCOMPASS A 30" DIAMETER CIRCLE, [408.6]
 - STALL SHOWER DOOR TO OPEN OUT WITH A MINIMUM 22" WIDE OPENING, [408.5]
 - SITE BUILT SHOWER STALLS SHALL BE INSTALLED IN ACCORDANCE TO SECTION 408.7
 - SHOWER STALLS AND BATHTUBS WITH SHOWER HEADS INSTALLED, SHALL HAVE WALLS FINISHED WITH A NONABSORBENT SURFACE FOR A MINIMUM OF 6 FEET ABOVE THE FLOOR, (CBC 1210 AND CRC R307.2)

ELECTRICAL

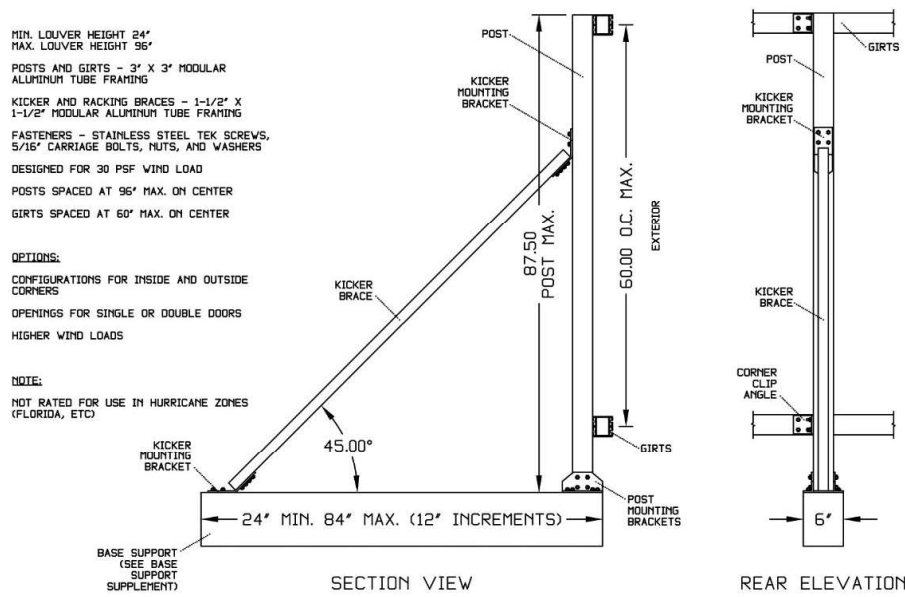
- PROVIDE A 20-AMP GFCI PROTECTED RECEPTACLE WITHIN 36" OF THE OUTSIDE EDGE OF THE EACH BATHROOM SINK BASIN, [CEC 210.52(D)]
 - RECEPTACLE SHALL BE LOCATED ON A WALL OR PARTITION THAT IS ADJACENT TO THE BASIN, ON THE COUNTERTOP, OR INSTALLED ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE TOP OF THE BASIN.
 - ALL RECEPTACLES SHALL BE TAMPER-RESISTANT (TR), [406.12]
- A MINIMUM OF ONE 120-V/20-AMP BRANCH CIRCUIT IS REQUIRED FOR BATHROOM RECEPTACLE(S), SUCH CIRCUIT SHALL HAVE NO OTHER RECEPTACLES, [210.11(C)(3)]
- ALL 125-V, SINGLE-PHASE, 15- AND 20-AMP RECEPTACLES INSTALLED IN BATHROOMS SHALL HAVE GFCI PROTECTION, THE GFCI SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION, [210.8]
- RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL AND WITHIN 5-FT OF THE PERIMETER OF BATHTUBS OR SHOWER STALLS, [406.9(C)]
- Bathroom Lighting Requirements [Cec 150.0(k)]**
 - ALL INSTALLED LUMINAIRE (LIGHTING) SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A, A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.
 - SWITCHES SHALL NOT BE INSTALLED WITHIN TUBS OR SHOWER SPACES UNLESS INSTALLED AS PART OF A LISTED TUB OR SHOWER ASSEMBLY AND WITHIN 5-FT OF THE PERIMETER OF BATHTUBS OR SHOWER STALLS, [CEC 404.4(C)]
 - ALL RECESSED LIGHTING SHALL BE IC RATED AND AIRTIGHT CERTIFIED, [Cec150.0(k)(c)]
 - NO PENDANT LIGHTING SHALL BE LOCATED WITHIN A ZONE MEASURED 3-FT HORIZONTALLY AND 8-FT VERTICALLY FROM THE TOP OF A BATHTUB RIM OR SHOWER STALL THRESHOLD, [CEC 410.10(D)]
 - LUMINAIRES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSIONS OF THE BATHTUB OR SHOWER TO A HEIGHT OF 8-FT VERTICALLY FROM THE TOP OF THE TUB RIM AND SHOWER THRESHOLD SHALL BE OF ENCLOSED & GASKETED TYPE LISTED FOR DAMP OR WET LOCATIONS AND BE GFCI PROTECTED, [550.14(D), 551.53(B)]
 - FOR OCCUPANCIES WITH A HORIZONTAL (FLOOR/CEILING ASSEMBLY) FIRE-RATED SEPARATION, THE RECESSED FIXTURES SHALL BE PROTECTED TO THE SAME RATING OF THE SEPARATION (1-HOUR) OR BE LISTED FOR THE REQUIRED FIRE PROTECTION, THIS GENERALLY APPLIES TO RESIDENTIAL CONDOMINIUM CONSTRUCTION WHERE UNITS ARE ABOVE OR BELOW OTHER UNITS, [CBC 714.4.2]

Bathroom Exhaust s [Cec 150.0(k)]

- LOCAL EXHAUST SYSTEM SHALL BE INSTALLED IN A BATHROOM CONTAINING A TUB, SHOWER, SPA, OR SOME OTHER SIMILAR SOURCE OF MOISTURE AND VENTED TO THE OUTDOORS WITH A MINIMUM EXHAUST RATE OF 50 CFM (20 CFM IF CONTINUOUS OPERATION), A MAXIMUM OF 3 SONE RATING (1 FOR CONTINUOUS) IS REQUIRED FOR THE (ENERGY STAR) EXHAUST FAN, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE AND CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50% TO 80%, [Cec 150.0], ASHRAE STD, 62.2, CALGREEN 4.506.1
- BATHROOMS THAT ONLY HAVE A TOILET AND SINK DO NOT REQUIRE LOCAL EXHAUST IF THERE IS AN (MIN. 3-SQ-FT) OPERABLE WINDOW, [CRC R303.3]
- EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND EQUIPPED WITH BACK-DRAFT DAMPERS, DAMPERS ARE NOT REQUIRED WHEN THE EXHAUST FAN OPERATE CONTINUOUSLY, TERMINATION SHALL NOT BE LESS THAN 3-FT FROM A PROPERTY LINE, 10-FT FROM A FORCED AIR INLET, AND 3-FT FROM OPENINGS INTO THE BUILDING, DUCTS SHALL NOT DISCHARGE ONTO A PUBLIC WALKWAY, [CMC 504.1.502.2.1]

ENERGY TITLE

- ALL ACCESSIBLE JOINTS, PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE ABOUT THE AREA OF WORK SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED, [110.7]



1 ROOFTOP FRAMING SYSTEM FOR HVAC SCREENS



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REVISIONS

No.	Description	Date
1	Revision 1	09/24/24

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PLAN CHECK / JOB NO.

GENERAL ARCHITECTURAL NOTES

Project Number	Project Number
Date	Issue Date
Drawn By	J.F.
Checked By	Checker



Scale 12" = 1'-0"



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PLAN:
**EXISTING &
PROPOSED SITE PLAN**

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A1.0

Scale As Indicated

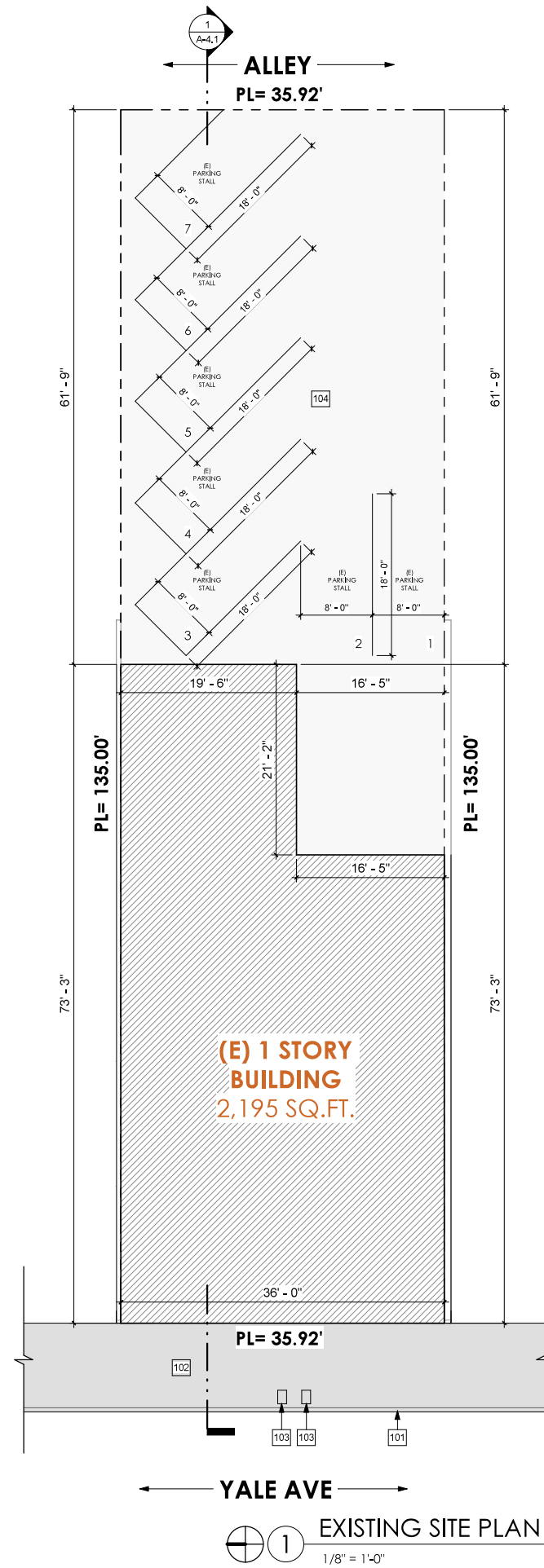
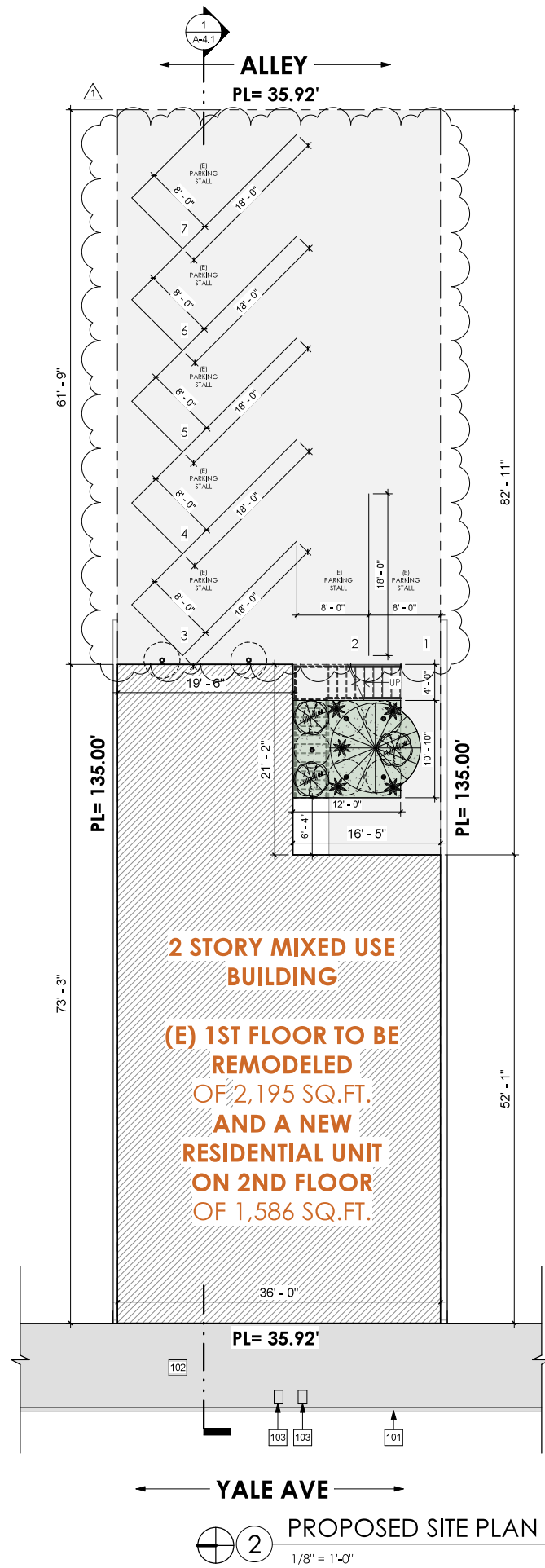
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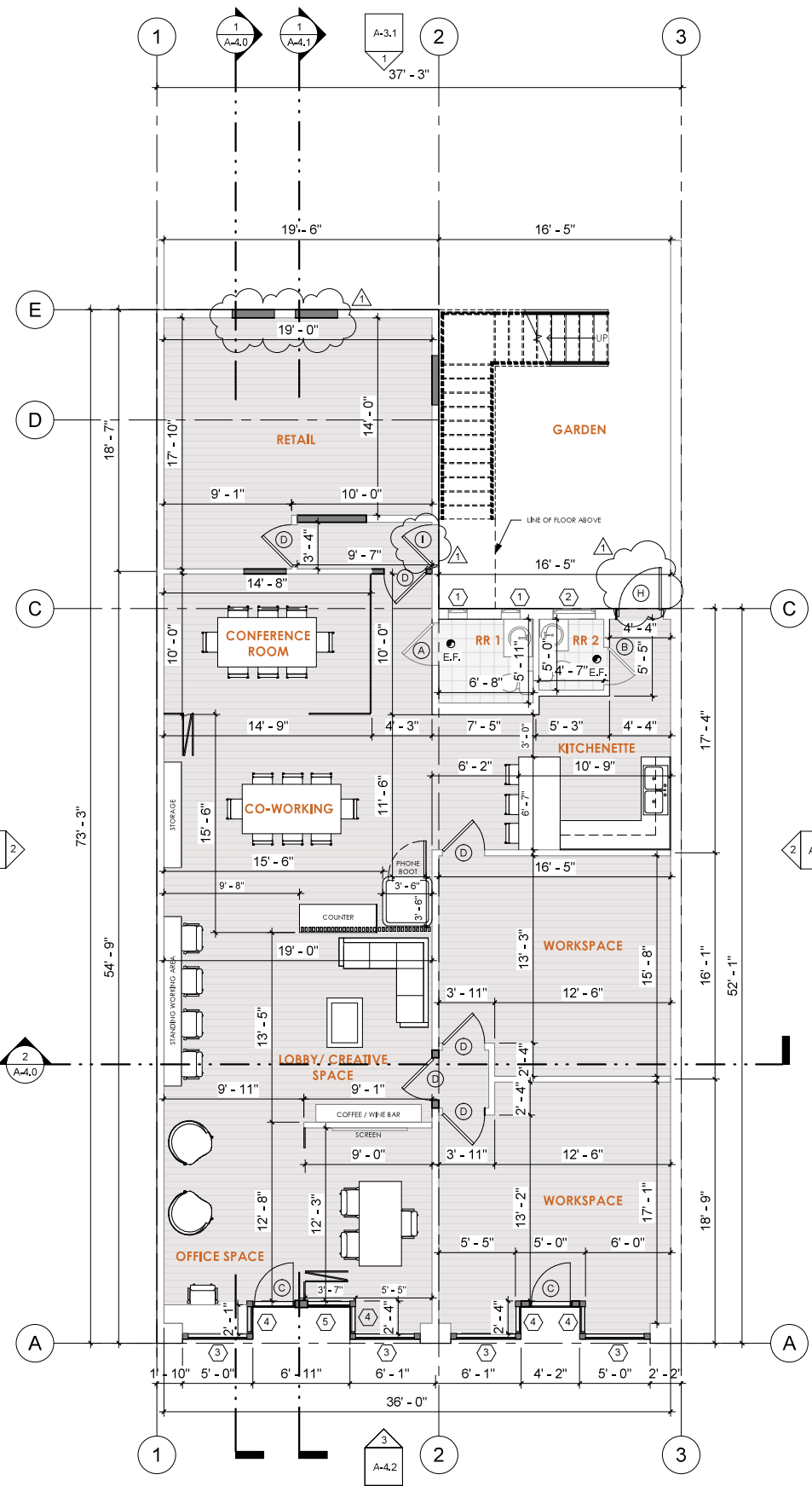
KEYNOTES:

101	(E) CURB TO REMAIN
102	(E) SIDEWALK TO REMAIN
103	(E) WATER METER
104	(E) PARKING

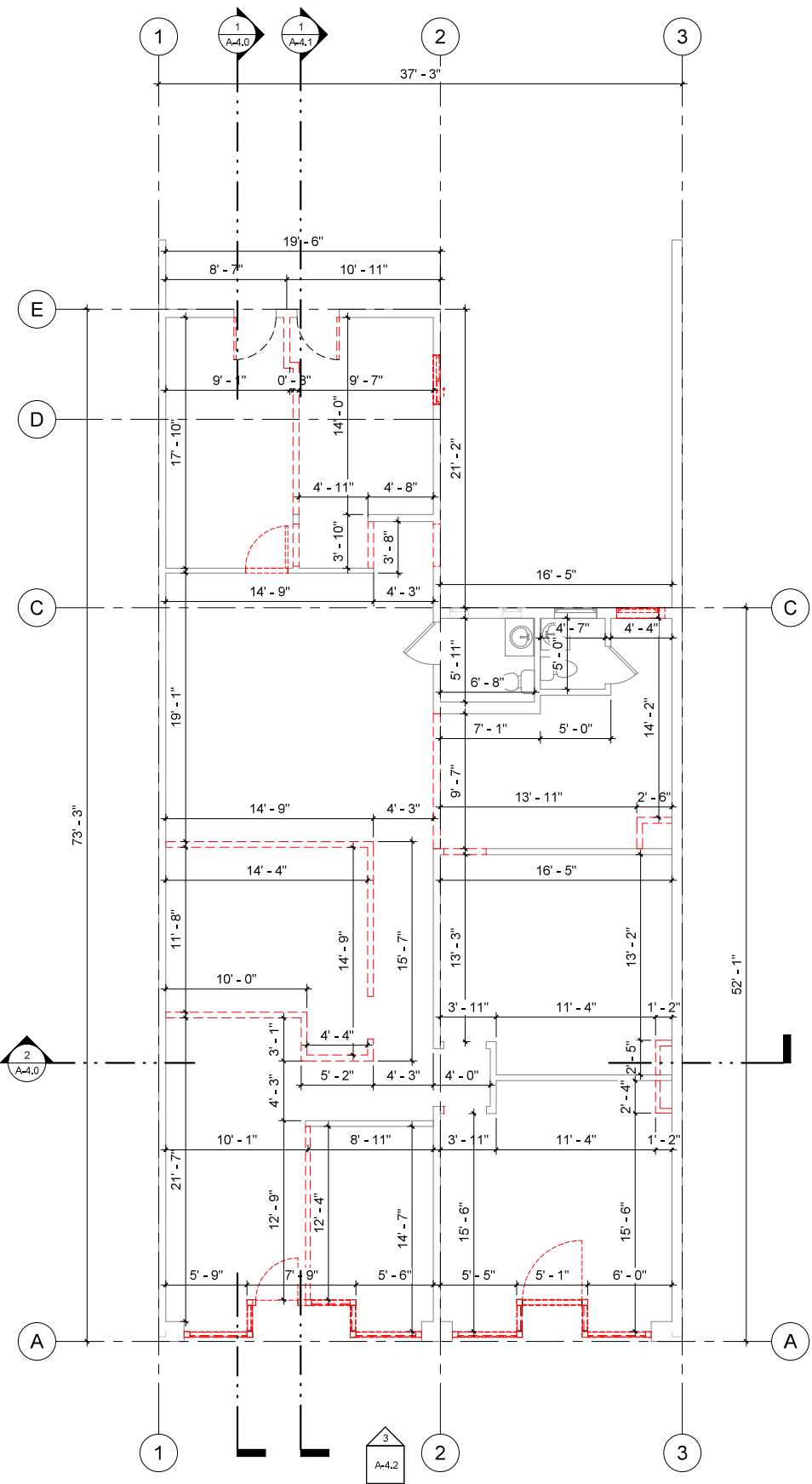
LEGEND:

- PROPERTY LINE
- AREA OF CONSTRUCTION
- AIR CONDENSER
- TANKLESS WATER HEATER
- GAS METER
- ELECTRICAL METER





2 PROPOSED FIRST FLOOR PLAN
3/16" = 1'-0"



1 EXISTING/DEMO 1ST FLOOR PLAN
3/16" = 1'-0"

NOTES:

- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE DESIGNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR COMPLIANCE REVIEW BEFORE PROCEEDING WITH FABRICATION.
- ALL DIMENSIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
- USE 2X6 STUDS ON PLUMBING WALLS (VERIFY LOCATIONS WITH DESIGNER)
- DO NOT SCALE DRAWINGS.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE MIN. 6" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING.
- CARBON MONOXIDE ALARM: FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES, PROVIDE AN APPROVED CARBON MONOXIDE ALARM AT:
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
 - PROVIDE A NOTE: CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP
 - BATTERY CARBON MONOXIDE ALARM SEP. BE PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE, (VERIFY)
- ELECTRICAL FIRE PLACE, MANUFACTURE: MODERN FLAMES (SEE SPECIFICATION SHEET AT GN-3)
- INSTALLATION AND USE OF FIREPLACE SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.

DOOR SCHEDULE

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	HOLLOW DOOR	3
EXISTING	B	2'-8" X 6'-8"	HOLLOW DOOR	1
NEW	C	3'-0" X 10'-0"	GLASS DOOR	2
NEW	D	3'-0" X 6'-8"	HOLLOW DOOR	6
NEW	E	10'-0" X 7'-0"	BI FOLD DOOR / 3 PANELS	2
NEW	F	12'-0" X 7'-0"	BI FOLD DOOR / 4 PANELS	1
NEW	G	2'-8" X 6'-8"	HOLLOW DOOR	6
NEW	H	3'-0" X 7'-0"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	2
NEW	I	3'-0" X 6'-8"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	1

WINDOW SCHEDULE

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	2
NEW	3	5'-0" X 10'-0"	FIXED WINDOW	4
NEW	4	1'-10" X 10'-0"	FIXED WINDOW	4
NEW	5	3'-0" X 10'-0"	FIXED WINDOW	1
NEW	6	3'-0" X 2'-0"	DOUBLE SLIDING / TEMP GLASS	1
NEW	7	2'-6" X 3'-6"	SINGLE HUNG	2

LEGEND:

- 2x STUD WALL TO REMAIN.
- 2x STUD WALL TO BE DEMOLISHED.
- 2x STUDS D.F. No.2 @ 16" O.C. UNLESS OTHERWISE NOTE (SEE STRUCTURAL PLANS)
- 2x FURRING WALL
- INTERCONNECTED HARD-WIRED CARBON MONOXIDE ALARM WITH A BATTERY BACKUP.
- INTERCONNECTED PHOTOELECTRIC SMOKE ALARM, 110 V. / HARD WIRE W/ BATTERY BACKUP, AND BATTERY OPERATE FOR EXISTING LIVING AREA. NOTE: SHALL BE INSTALLED NOT LESS THAN 3 FT. HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.
- EXHAUST FAN
A- EXHAUST FAN SHALL BE MINIMUM 50 CFM CAPABILITY.
B- EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
C- EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- EXHAUST FAN WITH 5-AIR CHANGE PER HR. MIN. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. 100 CFM
- INDICATES DIRECTION OF SLOPE
- INDICATES FLOOR DROP
- WINDOW SYMBOL
- DOOR SYMBOL
- M.S. MOTION SENSOR



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REVISIONS

No.	Description	Date
1	Revision 1	09/24/24

212 N YALE OFFICES AND RESIDENCE

JOB SITE:
212 N Yale Ave, Claremont, CA 91711

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PLAN CHECK / JOB NO.

PLAN:
EXISTING & PROPOSED FLOOR PLAN

Project Number _____ Project Number _____

Date _____ Issue Date _____

Drawn By _____ J.F.

Checked By _____ Checker _____

A-20

Scale _____ As indicated

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No.	Description	Date
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JOB SITE:
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PLAN CHECK / JOB NO.
PLAN:
PROPOSED 2ND FLOOR & ROOF PLANS

Project Number _____ Project Number _____
Date _____ Issue Date _____
Drawn By _____ J.F.
Checked By _____ Checker _____

A-21

Scale As Indicated

NOTES:

- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE DESIGNER MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS OR CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE DESIGNER FOR COMPLIANCE REVIEW BEFORE PROCEEDING WITH FABRICATION.
- ALL DIMENSIONS ARE TO FINISH UNLESS NOTED OTHERWISE.
- USE 2X6 STUDS ON PLUMBING WALLS (VERIFY LOCATIONS WITH DESIGNER)
- DO NOT SCALE DRAWINGS.
- PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE MIN. 6' HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- SMOKE ALARMS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING.
- CARBON MONOXIDE ALARM: FOR BUILDINGS WITH FUEL-BURNING APPLIANCES AND/OR ATTACHED GARAGES, PROVIDE AN APPROVED CARBON MONOXIDE ALARM AT:
 - OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS
 - PROVIDE A NOTE: CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
 - BATTERY CARBON MONOXIDE ALARM SEP. BE PERMITTED IN EXISTING DWELLING UNITS WHERE NO CONSTRUCTION IS TAKING PLACE, (VERIFY)
- ELECTRICAL FIRE PLACE, MANUFACTURE: MODERN FLAMES (SEE SPECIFICATION SHEET AT GN-3)
- INSTALLATION AND USE OF FIREPLACE SHALL BE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
- WOOD BURNING FIREPLACES AND OTHER WOOD BURNING DEVICES ARE PROHIBITED.

DOOR SCHEDULE

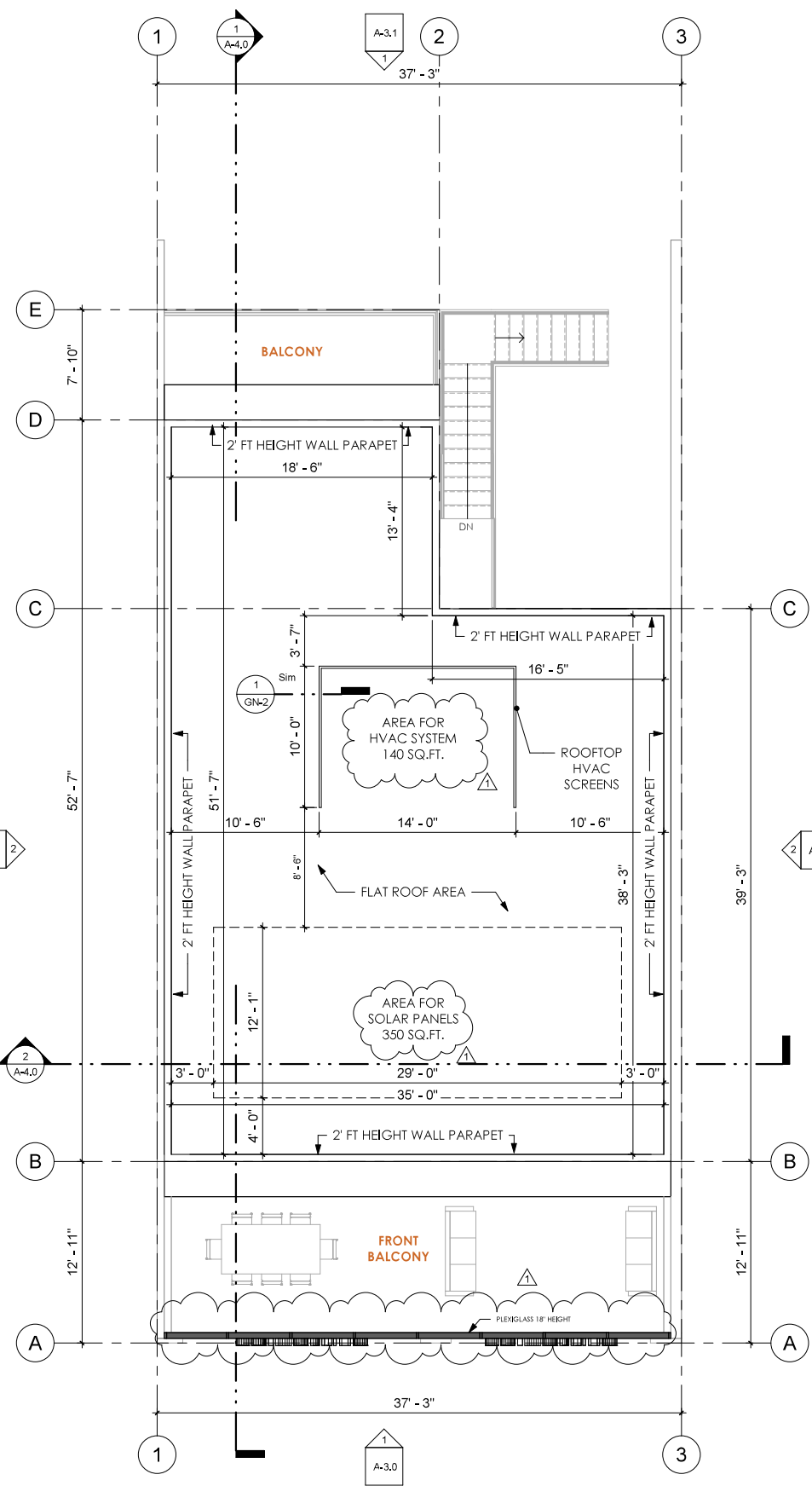
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	HOLLOW DOOR	3
EXISTING	B	2'-8" X 6'-8"	HOLLOW DOOR	1
NEW	C	3'-0" X 10'-0"	GLASS DOOR	2
NEW	D	3'-0" X 6'-8"	HOLLOW DOOR	6
NEW	E	10'-0" X 7'-0"	BI FOLD DOOR / 3 PANELS	2
NEW	F	12'-0" X 7'-0"	BI FOLD DOOR / 4 PANELS	1
NEW	G	2'-8" X 6'-8"	HOLLOW DOOR	6
NEW	H	3'-0" X 7'-0"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	2
NEW	I	3'-0" X 6'-8"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	1

WINDOW SCHEDULE

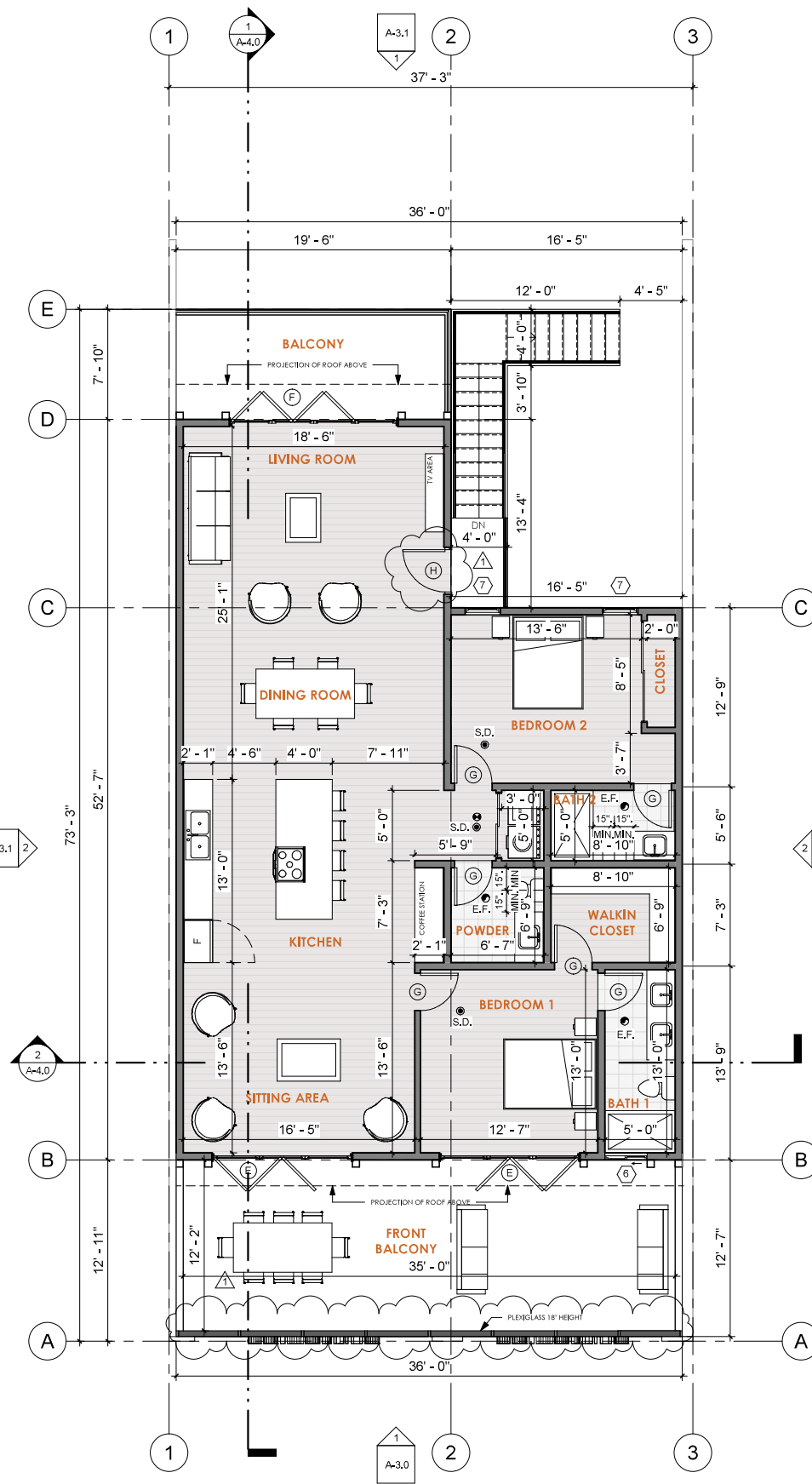
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	2
NEW	3	5'-0" X 10'-0"	FIXED WINDOW	4
NEW	4	1'-10" X 10'-0"	FIXED WINDOW	4
NEW	5	3'-0" X 10'-0"	FIXED WINDOW	1
NEW	6	3'-0" X 2'-0"	DOUBLE SLIDING / TEMP GLASS	1
NEW	7	2'-6" X 3'-6"	SINGLE HUNG	2

LEGEND:

- 2x STUD WALL TO REMAIN.
- 2x STUD WALL TO BE DEMOLISHED.
- 2x STUDS D.F. No.2 @ 16" O.C. UNLESS OTHERWISE NOTE (SEE STRUCTURAL PLANS)
- 2x FURRING WALL
- INTERCONNECTED HARD-WIRED CARBON MONOXIDE ALARM WITH A BATTERY BACKUP.
- INTERCONNECTED PHOTOELECTRIC SMOKE ALARM, 110 V. / HARD WIRE W/ BATTERY BACKUP, AND BATTERY OPERATE FOR EXISTING LIVING AREA NOTE: SHALL BE INSTALLED NOT LESS THAT A 3 FT. HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.
- EXHAUST FAN
A- EXHAUST FAN SHALL BE MINIMUM 50 CFM CAPABILITY.
B- EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OG THE BUILDING.
C- EXHAUST FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE.
- EXHAUST FAN WITH 5-AIR CHANGE PER HR, MIN. EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING, 100 CFM
- INDICATES DIRECTION OF SLOPE
- INDICATES FLOOR DROP
- WINDOW SYMBOL
- DOOR SYMBOL
- M.S. MOTION SENSOR

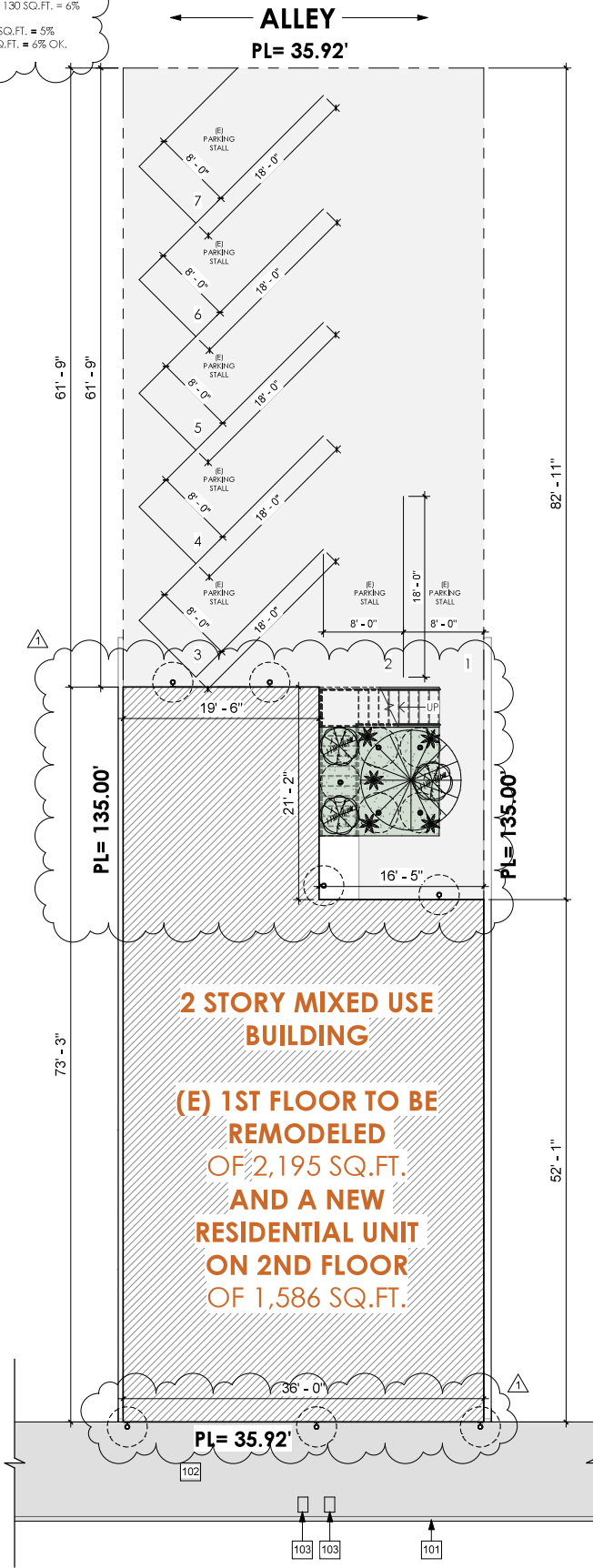


PROPOSED ROOF PLAN
3/16" = 1'-0"



PROPOSED 2ND FLOOR PLAN
3/16" = 1'-0"

TOTAL PAVED PARKING AREA: 2,059 SQ.FT. = 100%
 TOTAL PLANTING AREA ON PARKING: 130 SQ.FT. = 6%
 REQUIRED PLANTING AREA: 103 SQ.FT. = 5%
 PROPOSED PLANTING AREA: 130 SQ.FT. = 6% OK.



← YALE AVE →
 PROPOSED LANDSCAPE & LIGHTING PLAN - SITE PLAN

①
 1/8" = 1'-0"

HARDSCAPE & DECORATIVE ELEMENTS				
SYMBOL	MATERIAL	UNIT	QTY.	COLOR
	GRASS (DYMONDIA MARGARETA)	SQ. FT.	424	
	CONCRETE	SQ. FT.	2,143	PLAIN GRAY

LIGHTING LEGEND						
SYMBOL	NAME	BRAND	MANUF. #	TYPE	MAX WATTAGE	QTY.
	BLACK DIE-CAST ALUMINUM LARGE LED IN-GROUND WELL LIGHT	JOHN TIMBERLAND	A60074-107	LOW VOLTAGE	9 WATTS	PER PLAN
	CYLINDER 2 LIGHT MATTE BLACK	QUORUM INTERNATIONAL	720-2-69	LOW VOLTAGE	120 WATTS	PER PLAN
	LED STRIP LIGHT	ONE SYNC	UCL192/FLEX/5C CT	LOW VOLTAGE	4 WATTS	PER PLAN
	LIGHT SPILLAGE RADIUS					
	LIGHT LINEAL SPILLAGE					

PLANT LEGEND							
SYMBOL	ABBREV	BOTANICAL NAME "COMMON NAME"	QTY.	HIGHT	SPREAD	EXPOSURE	IRRIGATION
	ALOE MAC	ALOE MACULATA "SOAP ALOE"	PER PLAN	1'-2'	2'	FULL SUN	LOW WATER
	ALOE PLURI	ALOE PLURIDENS "FRENCH ALOE"	PER PLAN	6'-10'	4'-6'	FULL SUN	LOW WATER
	CIT JAP	CITRUS JAPONICA "KUMQUAT"	PER PLAN	8'-15'	8'-15'	FULL SUN	LOW WATER



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 (760) 673-6837
 PLAN CHECK / JOB NO.

PROPOSED LANDSCAPE & LIGHTING PLAN - SITE PLAN

Project Number _____ Project Number _____
 Date _____ Issue Date _____
 Drawn By _____ Author _____
 Checked By _____ Checker _____

A-22

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1	Revision 1	09/24/24

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JOB SITE:
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PLAN CHECK / JOB NO.

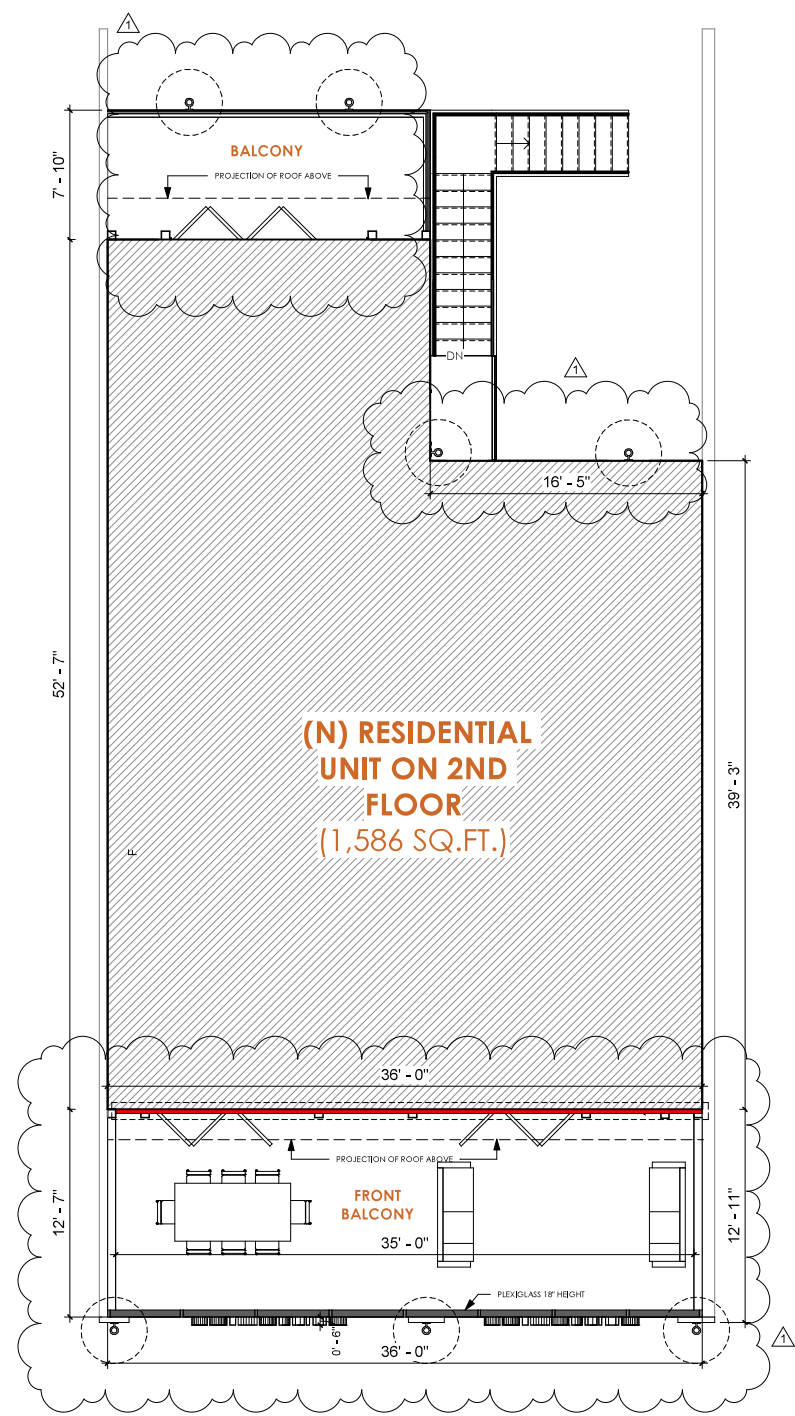
PROPOSED LANDSCAPE & LIGHTING PLAN - 2ND FLOOR

Project Number _____ Project Number _____
Date _____ Issue Date _____
Drawn By _____ Author _____
Checked By _____ Checker _____

A-23

Scale As Indicated

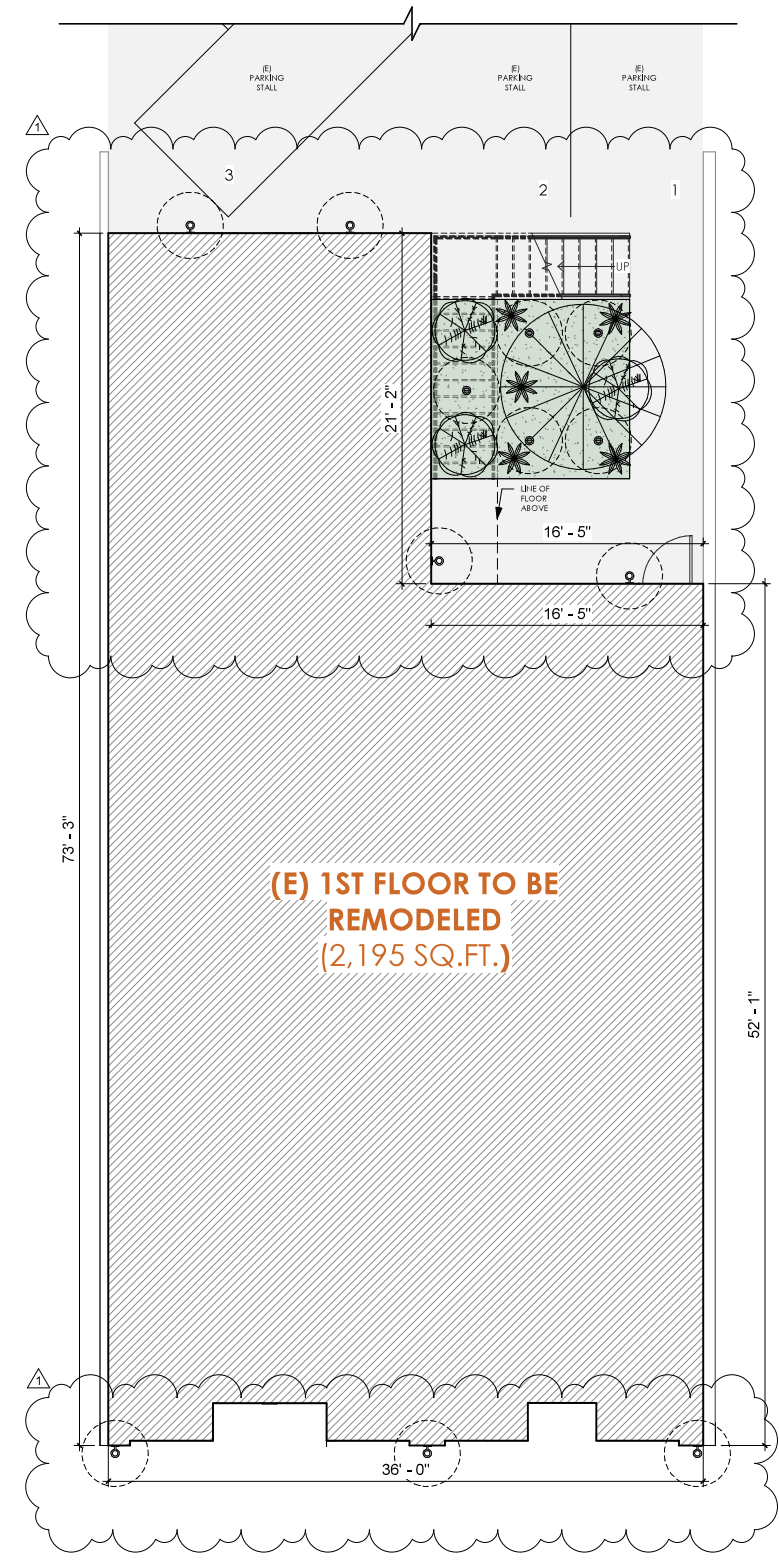
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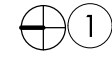
PROPOSED LANDSCAPE & LIGHTING PLAN - 2ND FLOOR



3/16" = 1'-0"



PROPOSED LANDSCAPE & LIGHTING PLAN - 1ST FLOOR



3/16" = 1'-0"

HARDSCAPE & DECORATIVE ELEMENTS				
SYMBOL	MATERIAL	UNIT	QTY.	COLOR
	GRASS (DYMONDIA MARGARETA)	SQ. FT.	424	
	CONCRETE	SQ. FT.	2,143	PLAIN GRAY

LIGHTING LEGEND						
SYMBOL	NAME	BRAND	MANUF. #	TYPE	MAX WATTAGE	QTY.
	BLACK DIE-CAST ALUMINUM LARGE LED IN-GROUND WELL LIGHT	JOHN TIMBERLAND	A60074-107	LOW VOLTAGE	9 WATTS	PER PLAN
	CYLINDER 2 LIGHT MATTE BLACK	QUORUM INTERNATIONAL	720-2-69	LOW VOLTAGE	120 WATTS	PER PLAN
	LED STRIP LIGHT	ONE SYNC	UCL192/FLEX/5C CT	LOW VOLTAGE	4 WATTS	PER PLAN
	LIGHT SPILLAGE RADIUS					
	LIGHT LINEAL SPILLAGE					

PLANT LEGEND							
SYMBOL	ABBREV	BOTANICAL NAME "COMMON NAME"	QTY.	HIGHT	SPREAD	EXPOSURE	IRRIGATION
	ALOE MAC	ALOE MACULATA "SOAP ALOE"	PER PLAN	1'-2'	2'	FULL SUN	LOW WATER
	ALOE PLURI	ALOE PLURIDENS "FRENCH ALOE"	PER PLAN	6'-10'	4'-6'	FULL SUN	LOW WATER
	CIT JAP	CITRUS JAPONICA "KUMQUAT"	PER PLAN	8'-15'	8'-15'	FULL SUN	LOW WATER



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PLAN CHECK / JOB NO.

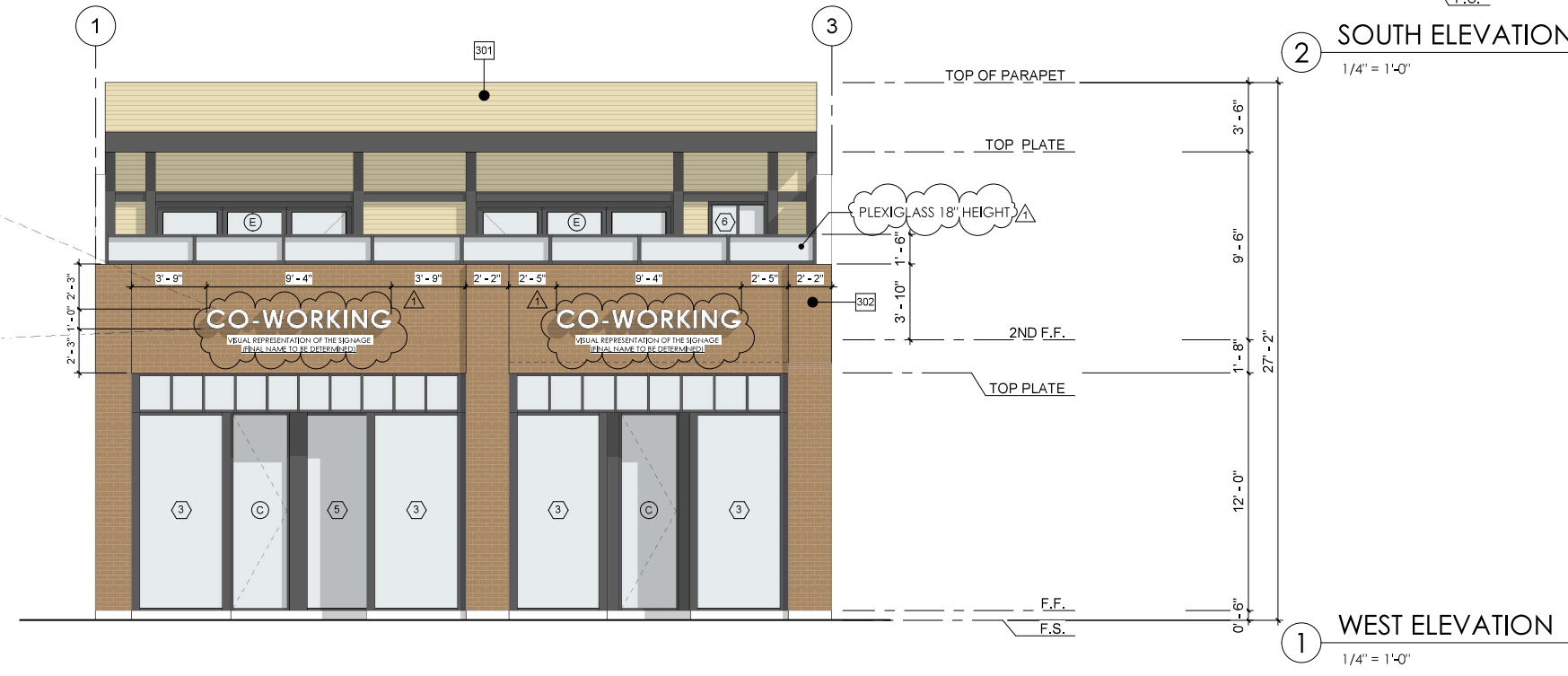
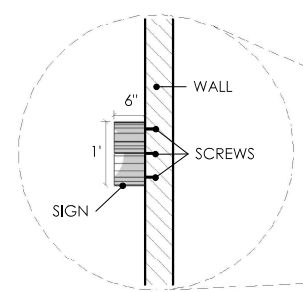
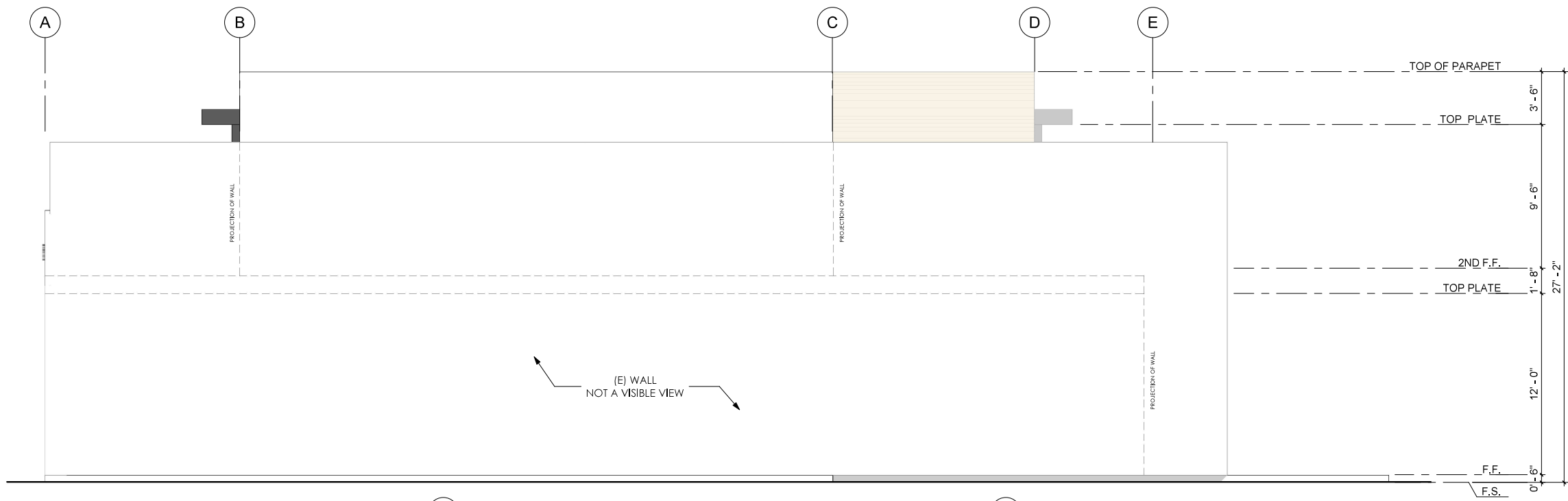
EXTERIOR ELEVATIONS

Project Number _____ Project Number _____
Date _____ Issue Date _____
Drawn By _____ J.F.
Checked By _____ Checker _____

A-3.0

Scale 1/4" = 1'-0"

11/13/2024 4:57:08 PM



KEYNOTES:

301	NEW EXTERIOR CLADDING, COLOR: SPRUCE
302	NEW EXTERIOR BRICK, BOSTON MILL

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	HOLLOW DOOR	3
EXISTING	B	2'-8" X 6'-8"	HOLLOW DOOR	1
NEW	C	3'-0" X 10'-0"	GLASS DOOR	2
NEW	D	3'-0" X 6'-8"	HOLLOW DOOR	6
NEW	E	10'-0" X 7'-0"	BI FOLD DOOR / 3 PANELS	2
NEW	F	12'-0" X 7'-0"	BI FOLD DOOR / 4 PANELS	1
NEW	G	2'-8" X 6'-8"	HOLLOW DOOR	6
NEW	H	3'-0" X 7'-0"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	2
NEW	I	3'-0" X 6'-8"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	1

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	2
NEW	3	5'-0" X 10'-0"	FIXED WINDOW	4
NEW	4	1'-10" X 10'-0"	FIXED WINDOW	4
NEW	5	3'-0" X 10'-0"	FIXED WINDOW	1
NEW	6	3'-0" X 2'-0"	DOUBLE SLIDING / TEMP GLASS	1
NEW	7	2'-6" X 3'-6"	SINGLE HUNG	2



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No.	Description	Date

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PLAN CHECK / JOB NO.

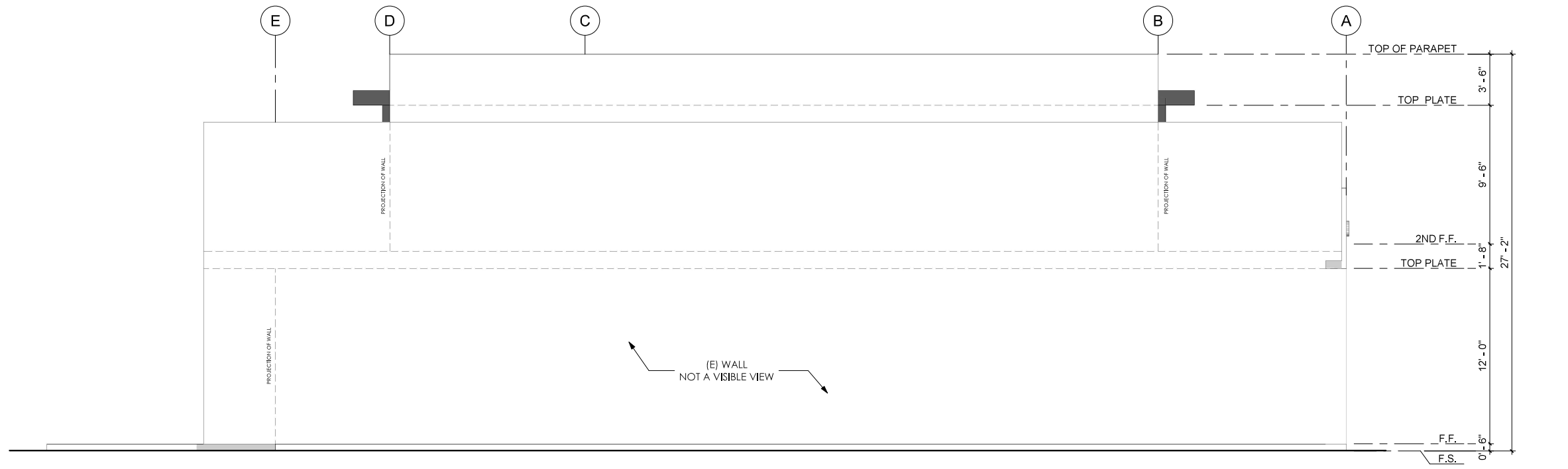
EXTERIOR ELEVATIONS

Project Number _____ Project Number _____
Date _____ Issue Date _____
Drawn By _____ Author _____
Checked By _____ Checker _____

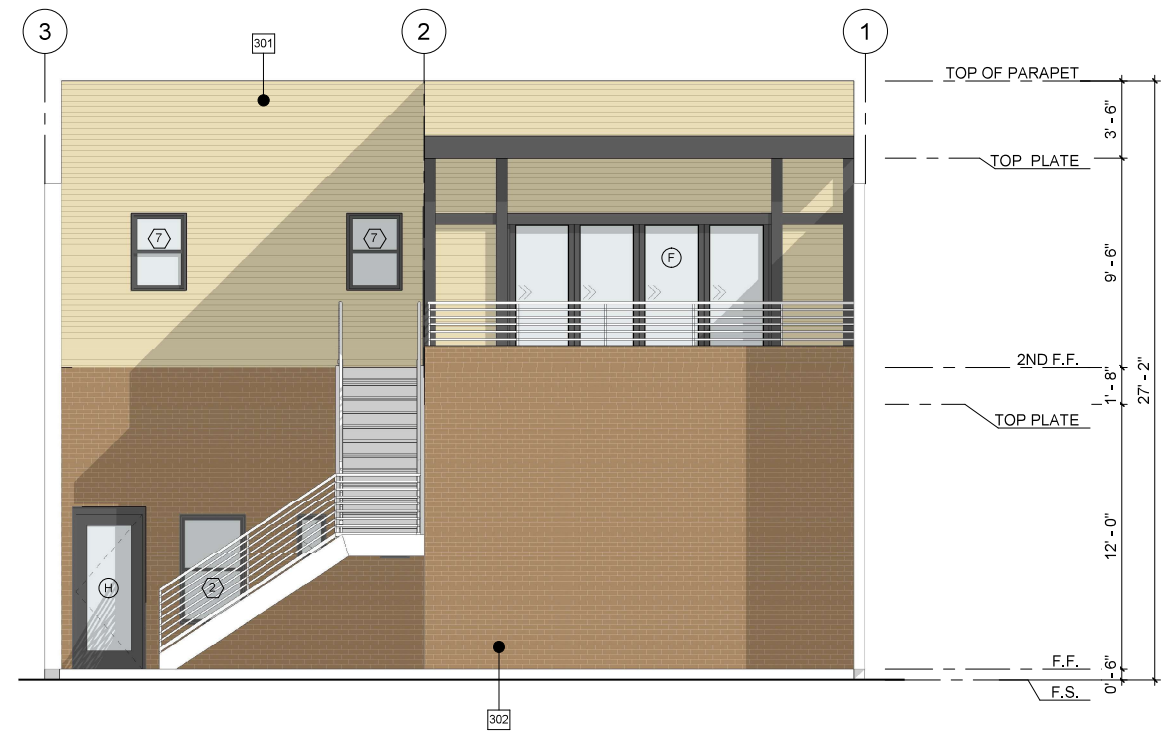
A-31

Scale 1/4" = 1'-0"

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2 NORTH ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"

KEYNOTES:

- 301 NEW EXTERIOR CLADDING, COLOR: SPRUCE
- 302 NEW EXTERIOR BRICK, BOSTON MILL

DOOR SCHEDULE				
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	HOLLOW DOOR	3
EXISTING	B	2'-8" X 6'-8"	HOLLOW DOOR	1
NEW	C	3'-0" X 10'-0"	GLASS DOOR	2
NEW	D	3'-0" X 6'-8"	HOLLOW DOOR	6
NEW	E	10'-0" X 7'-0"	BI FOLD DOOR / 3 PANELS	2
NEW	F	12'-0" X 7'-0"	BI FOLD DOOR / 4 PANELS	1
NEW	G	2'-8" X 6'-8"	HOLLOW DOOR	6
NEW	H	3'-0" X 7'-0"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	2
NEW	I	3'-0" X 6'-8"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	1

WINDOW SCHEDULE				
STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	2
NEW	3	5'-0" X 10'-0"	FIXED WINDOW	4
NEW	4	1'-10" X 10'-0"	FIXED WINDOW	4
NEW	5	3'-0" X 10'-0"	FIXED WINDOW	1
NEW	6	3'-0" X 2'-0"	DOUBLE SLIDING / TEMP GLASS	1
NEW	7	2'-6" X 3'-6"	SINGLE HUNG	2



② 3D VIEW



① 3D VIEW



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REVISIONS

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1	Revision 1	09/24/24

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JOB SITE:
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PLAN CHECK / JOB NO.

PLAN:

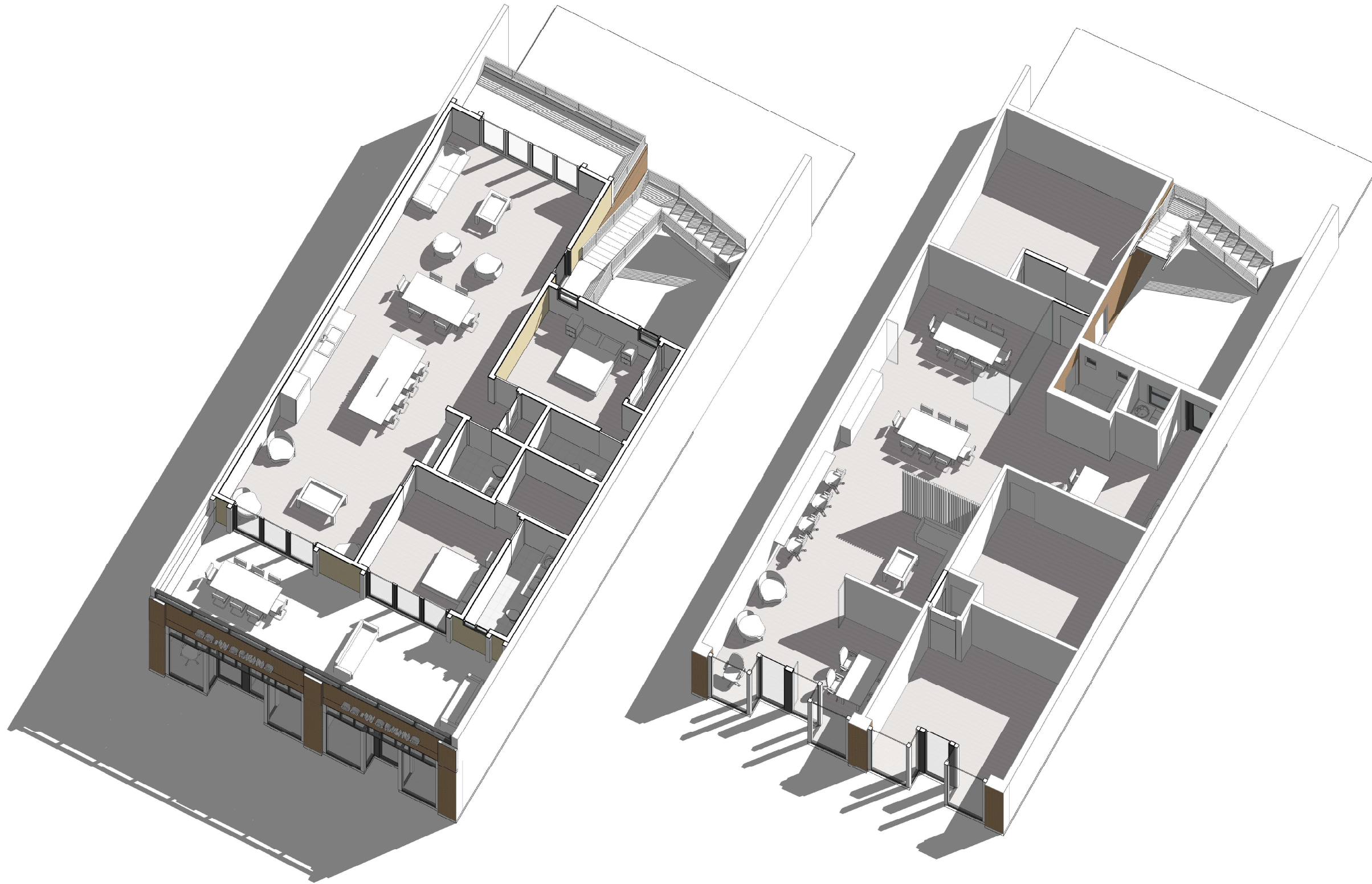
3D VIEWS

Project Number	Project Number
Date	Issue Date
Drawn By	Author
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A-3.2

Scale

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No.	Description	Date

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PLAN:
AXONOMETRIC

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A-3.3

Scale

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JOB SITE:
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PLAN CHECK / JOB NO.

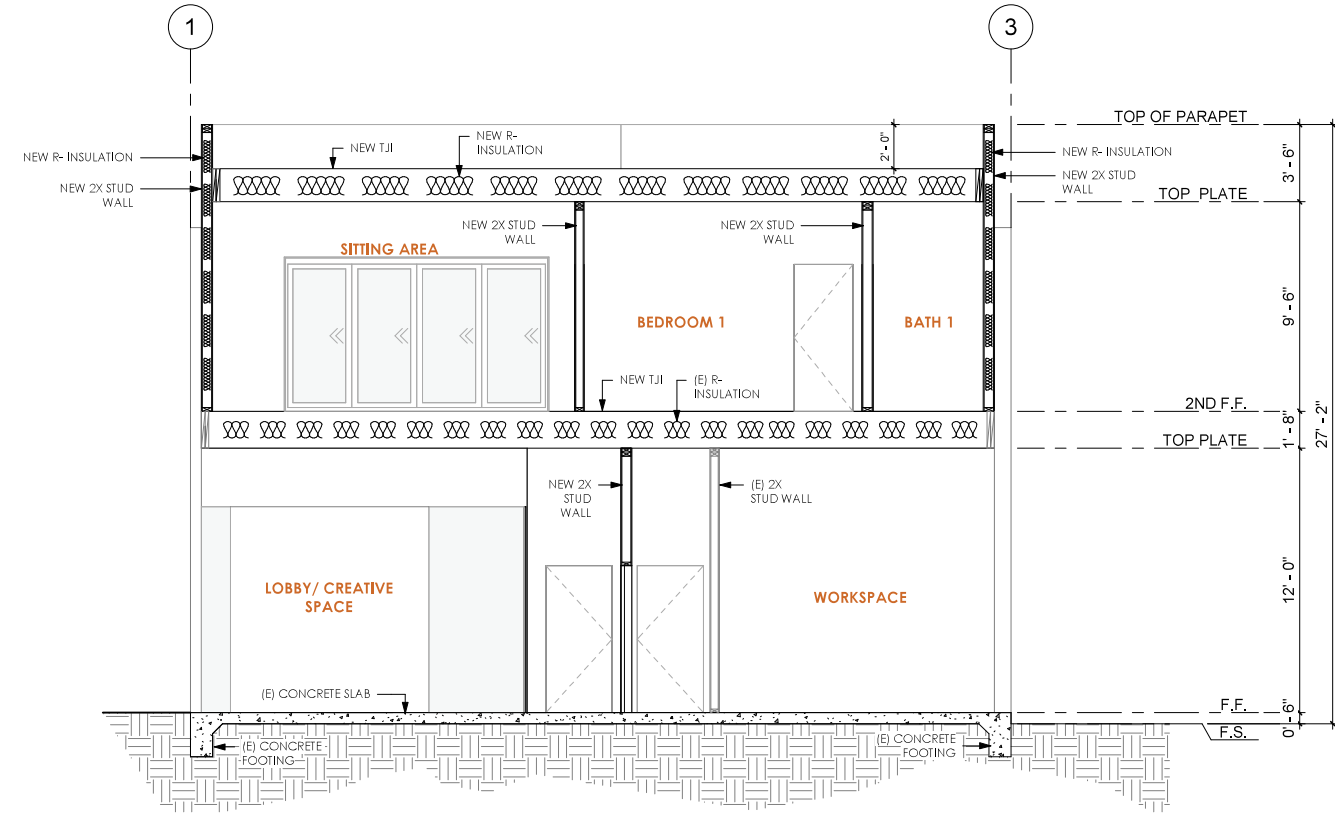
SECTIONS

Project Number	Project Number
Date	Issue Date
Drawn By	J.F.
Checked By	Checker

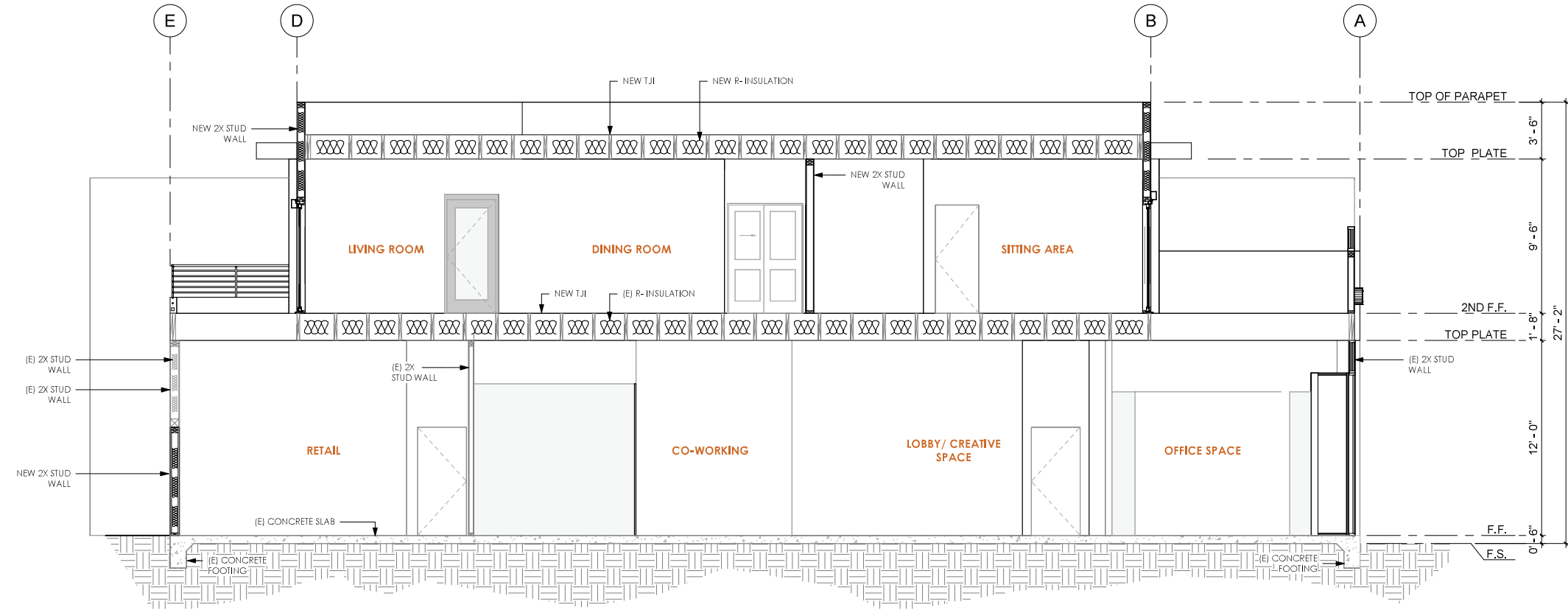
A-40

Scale 1/4" = 1'-0"

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2 SECTION
1/4" = 1'-0"



1 SECTION
1/4" = 1'-0"

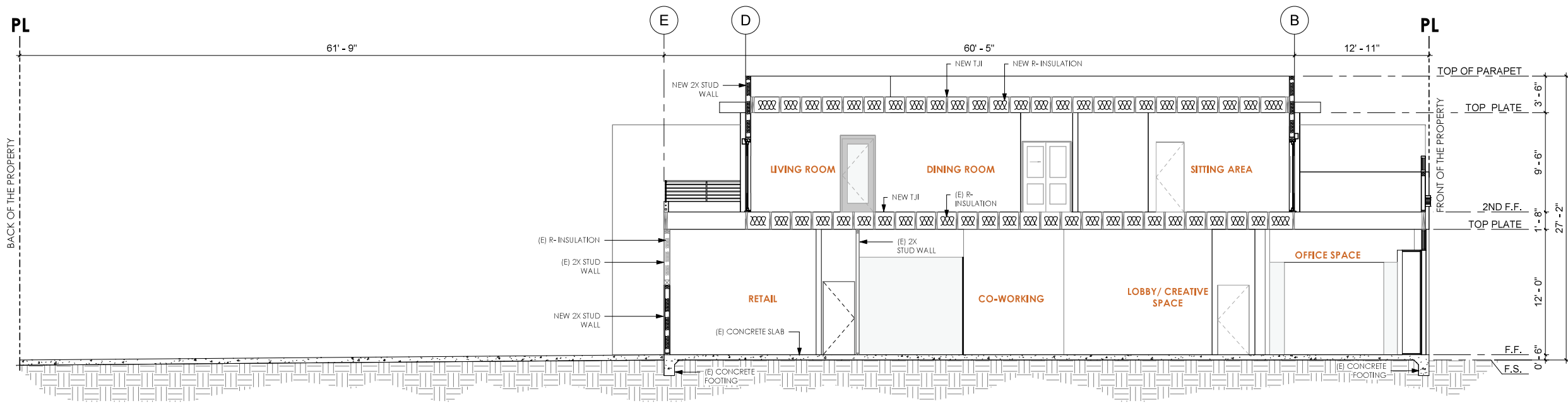


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No.	Description	Date

212 N YALE OFFICES AND RESIDENCE



1 SITE SECTION
3/16" = 1'-0"

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SITE SECTIONS

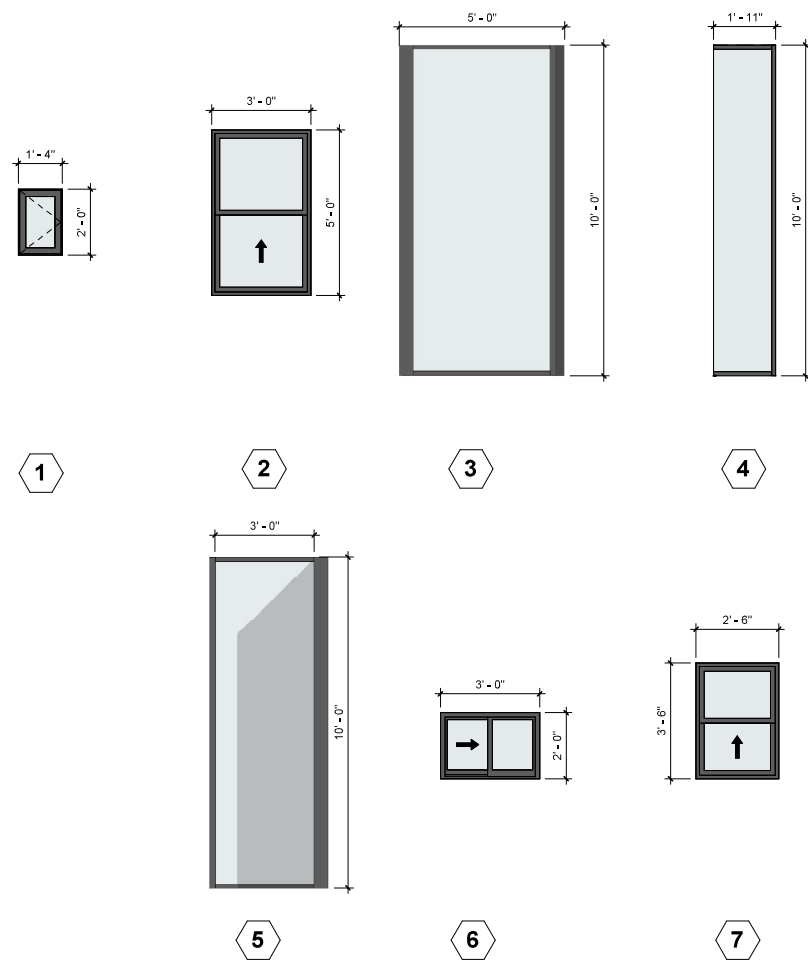
Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A-41

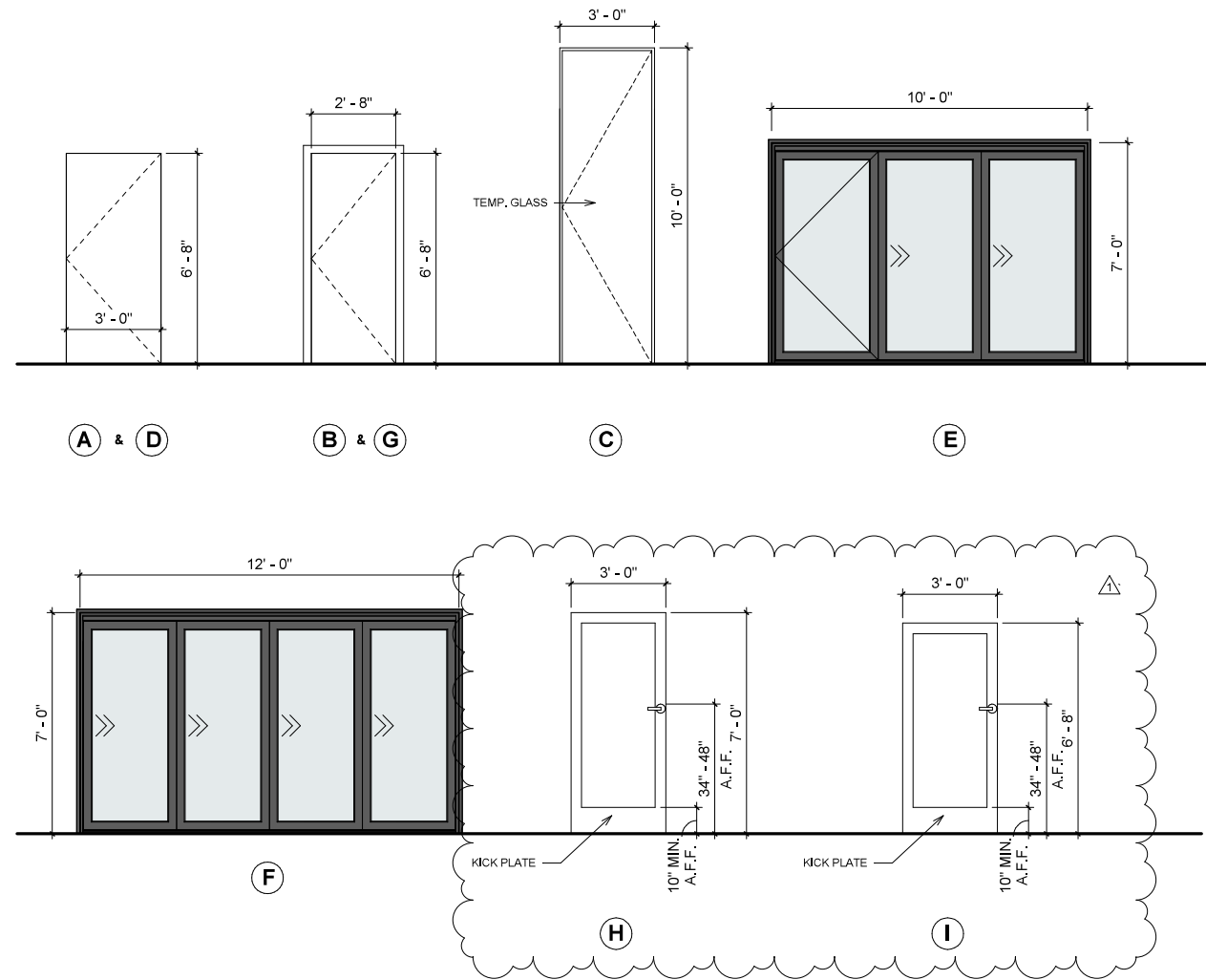
Scale 3/16" = 1'-0"

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WINDOW TYPES



DOOR TYPES



WINDOW SCHEDULE.

STATUS	SYM	SIZE	TYPE	QTY
EXISTING	1	1'-4" X 2'-0"	FIXED WINDOW	2
EXISTING	2	3'-0" X 5'-0"	SINGLE HUNG	2
NEW	3	5'-0" X 10'-0"	FIXED WINDOW	4
NEW	4	1'-10" X 10'-0"	FIXED WINDOW	4
NEW	5	3'-0" X 10'-0"	FIXED WINDOW	1
NEW	6	3'-0" X 2'-0"	DOUBLE SLIDING / TEMP GLASS	1
NEW	7	2'-6" X 3'-6"	SINGLE HUNG	2

DOOR SCHEDULE.

STATUS	SYMBOL	SIZE	TYPE	QTY
EXISTING	A	3'-0" X 6'-8"	HOLLOW DOOR	3
EXISTING	B	2'-8" X 6'-8"	HOLLOW DOOR	1
NEW	C	3'-0" X 10'-0"	GLASS DOOR	2
NEW	D	3'-0" X 6'-8"	HOLLOW DOOR	6
NEW	E	10'-0" X 7'-0"	BI FOLD DOOR / 3 PANELS	2
NEW	F	12'-0" X 7'-0"	BI FOLD DOOR / 4 PANELS	1
NEW	G	2'-8" X 6'-8"	HOLLOW DOOR	6
NEW	H	3'-0" X 7'-0"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	2
NEW	I	3'-0" X 6'-8"	HIGH REINFORCED SECURITY STEEL SAFETY DOOR	1



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No.	Description	Date
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**212 N YALE OFFICES
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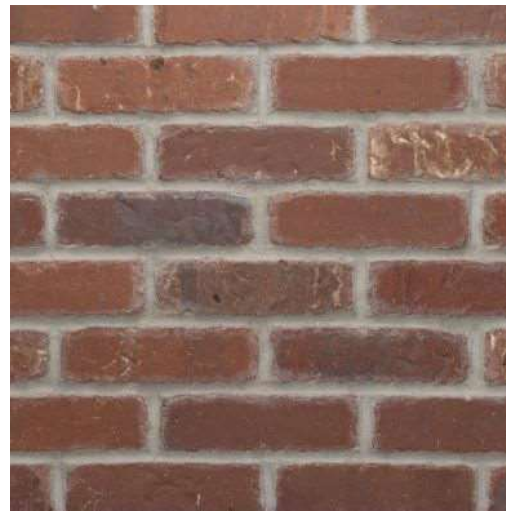
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**WINDOW AND DOOR
SCHEDULE + DETAILS**

Project Number	Project Number
Date	Issue Date
Drawn By	Author
Checked By	Checker

A-42

Scale 3/8" = 1'-0"



OLD MILL BUILDING PRODUCTS®

Boston Mill Brick



COLOR: BLACK METAL



THERMORY®

Benchmark Ash Cladding
1x4 C20 (JEM)



Spruce



JOHN TIMBERLAND®

BLACK DIE-CAST ALUMINUM LARGE LED IN-GROUND WELL LIGHT
MANUF: A60074-107

QUORUM INTERNATIONAL®

Cylinder 2 Light
Matte Black

SKU: SSSL30-0-U-1
EGGSHELL



Black
DEA002



Classic White
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Claremont Planning Commission

Agenda Report

File #: 5395

Item No: 3.

TO: PLANNING COMMISSION

FROM: BRAD JOHNSON, COMMUNITY DEVELOPMENT DIRECTOR

DATE: DECEMBER 17, 2024

SUBJECT:

TENTATIVE PARCEL MAP 84366, REQUEST TO MODIFY TWO PARCELS (APNS: 8308-025-004 & 8308-025-013), AND DEDICATE RIGHT-OF-WAY FOR CLAREMONT BOULEVARD AND RELATED TRAFFIC SIGNAL AT NINTH STREET AND CLAREMONT BOULEVARD. APPLICANT - CLAREMONT MCKENNA COLLEGE.

SUMMARY

The applicant, Claremont McKenna College (CMC), is requesting approval of Tentative Parcel Map 84366 (TPM #84366) to modify two lots to align with current college ownership (Pitzer College north of Ninth Street and CMC south) and to dedicate street right-of-way for Claremont Boulevard in order to accommodate a new traffic signal, protected bike lanes, and sidewalks. The map also includes an easement for a future pedestrian tunnel linking the CMC campus to the proposed East Campus Sports Bowl. Both subject parcels currently have a General Plan designation of Institutional with an underlying zoning designation of Institutional Educational (IE). The current Los Angeles County Assessor's Parcel Numbers for the properties are 8308-025-004 and 8308-025-013. In their current configuration, the properties have a combined gross area of 29.65 acres. The modified parcels will have a total net area of 25.92 acres. The difference, 3.73 acres, is being dedicated to the City of Claremont for use as public right-of-way.

The proposed map is consistent with the current alignment of the Claremont McKenna and Pitzer College campuses. The map is also consistent with the approved concept plan for Claremont Boulevard, which is intended to be reworked as a complete street - that is, one that provides for all modes of transportation, including autos, bicycles, and pedestrians. The proposed map is required as a condition of approval of CMC's Robert Day Integrated Science Center, which is currently under construction near the northeast corner of proposed Parcel 2.

Staff is recommending that the Planning Commission find that the proposed map is appropriate and consistent with the General Plan and zoning land use designations and subdivision standards, and therefore approve TPM 84366, subject to conditions included in the draft resolution in Attachment A.

RECOMMENDATION

Staff recommends the Planning Commission adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP 84366, WHICH MODIFIES TWO PARCELS (APNS: 8308-025-004 & 8308-025-013), AND DEDICATES RIGHT-OF-WAY FOR CLAREMONT BOULEVARD AND A RELATED TRAFFIC SIGNAL AT NINTH STREET AND CLAREMONT BOULEVARD. APPLICANT - CLARMEONT MCKENNA COLLEGE.

ALTERNATIVES TO RECOMMENDATION

In addition to the staff recommendation, the following alternatives have been identified:

- A. Continue the item for additional discussion and/or information.
- B. Determine that the findings set forth in Section 17.050.070 of the Claremont Municipal Code cannot be met for approval of Tentative Parcel Map 84366 and continue the item to the commission's next meeting for adoption of a denial resolution.

FINANCIAL REVIEW

All costs associated with reviewing the proposed tentative map will be borne by the applicant.

ANALYSIS

Background

CMC Master Plan

The CMC Master Plan was approved by the Claremont City Council in 2012 to provide a long-range guide for future improvements and expansion of the CMC campus over thirty years. The CMC Master Plan shows the boundaries of the CMC campus aligning with the revised lot lines contained in the Tentative Parcel Map (Attachment B). The CMC Master Plan also shows development near the southwest corner of the intersection of Claremont Boulevard and Ninth Street. A full EIR was prepared and certified by the City for the 2012 CMC Master Plan (State Clearing House ("SCH") # 2011031050).

The City, including the Planning Commission, reviewed the CMC Master Plan and Draft EIR. Included in that review and approval was a plan for developing a large portion of the East Campus, which included 40 acres of CMC sports facilities that would then free up space on the main CMC campus for academic buildings and hundreds of new parking spaces on the perimeter of the campus. Access between the existing College campuses and the East Campus facilities was intended to occur primarily at Ninth Street. The Master Plan included plans for providing a traffic signal and stronger pedestrian facilities at this intersection, as well as bicycle and pedestrian improvements along Claremont Boulevard. An associated development agreement requires installation of the new traffic signal.

CMC Master Plan Amendment

On July 28, 2021, the Architectural Commission completed an advisory review of a request from CMC to amend the campus master plan to reallocate a portion of the building space entitled for locations along Ninth Street further east in order to accommodate construction of a larger science building near Claremont Boulevard. Staff approved the amendment to the CMC Master Plan (File #10-IMP01amd1) on September 30, 2021.

The Master Plan Amendment also included a revised concept plan for Claremont Boulevard. The revised concept for the street introduced protected bicycle lanes, extended curbs (bulb-outs), ladder-style crosswalks, and landscape parkways to further improve bicycle and pedestrian facilities along Claremont Boulevard. Those improvements necessitated wider right-of-way for Claremont Boulevard and additional pedestrian queuing space at the intersection of Ninth Street and Claremont Boulevard. The proposed Tentative Map has been designed to accommodate these improvements. The site plan for the Amended CMC Master Plan and amended plan for Claremont Boulevard are Attachments C & D.

CMC Robert Day Integrated Science Center

Another important purpose of this parcel map is to eliminate a conflict between the footprint of the new CMC Robert Day Integrated Science Center (“Science Center”) and an existing parcel line that did not align with the boundary of CMC’s land ownership. The Architectural Commission approved the construction of the 135,000-square-foot Science Center on May 11, 2022, and found the building to be consistent with the Claremont McKenna College Master Plan. A condition of approval for the Science Center requires CMC to create a parcel map to address the lot line issue, dedicate the land already occupied by Claremont Boulevard to the City, and dedicate additional right-of-way to the City to accommodate a recently approved complete streets plan for Claremont Boulevard. Excerpts from the approved plans for the Science Center are Attachment E.

The approved design of the Science Center anticipated that future parking for the site would be located in the East Campus Sports Bowl located just east of the building; across Claremont Boulevard. As plans for the Science Center and adjacent East Campus Sports Bowl were refined, CMC later requested approval of a subterranean tunnel to connect the Sports Bowl and its associated parking structure with the Claremont McKenna campus. The tunnel was proposed for a location south of the Science Center. The tunnel concept and an extensive redesign of the East Campus Sports Bowl were approved by the Architectural and Preservation Commission on January 24, 2024. Excerpts from the approved plans for the Revised East Campus Sports Bowl and associated tunnel are Attachment F.

Proposed Tentative Parcel Map 84366

The proposed tentative parcel map will move the southern boundary of Parcel A north to coincide with current ownership boundary of Pitzer College, which coincides with the center line of Ninth Street (a private street). Currently, this parcel includes land owned by CMC. The western boundary of Parcel B will then be moved to occupy the area vacated by the redrawing of Parcel A. Both parcels will then be modified by moving their eastern boundaries west to provide adequate right-of-way for Claremont Boulevard, including its new design as a complete street. The dedication for Claremont Boulevard includes full dedication to the City of what had been an easement for roadway purposes as well as additional right-of-way width to accommodate the bicycle lane and sidewalk improvements while maintaining two vehicular travel lanes in each direction. Finally, both new parcels

(Parcels 1 & 2) are modified adjacent to the Ninth Street Intersection with Claremont Boulevard to provide the additional right-of-way space needed to accommodate a new traffic signal and pedestrian queuing areas at this intersection.

The Parcel map also includes six existing plottable easements for various purposes. The first, identified as (9) on the tentative map, relates to the use of Claremont Boulevard as a public roadway. This easement is being superseded by the full dedication described above. Existing easements (8), (10) & (11) are related to subterranean utilities that exist or will exist, on the site. Easement (7) allows for public street purposes to accommodate circulation and a fire lane on the western boundary of Parcel 2. Easement (12) allows ingress and easement across East Ninth Street, which is a private street owned in parts by Claremont McKenna and Pitzer Colleges.

There are three additional plottable easements being added to the map. The first [1] is a new 50-foot wide subsurface easement for a proposed tunnel linking the proposed east campus sports bowl and parking structure to the CMC campus. This easement is located approximately 360 feet south of Ninth Street. The second [2] denotes the area for traffic signal footings and pedestrian queuing at the intersection of Ninth Street and Claremont Boulevard. The third [3] denotes the limits of a proposed Golden State Water easement to provide for water facilities under both Ninth Street and Claremont Boulevard within the map area.

TPM 84366 also includes legal descriptions of the existing parcels, depictions of existing improvements within the map area, and verbal descriptions of three existing non-plottable easements related to flood control, ditches, a water pipeline, and electrical infrastructure.

Basis for Recommendation

City staff originally identified the need for this parcel map in order to align legal lot lines with land ownership between the two colleges, dedicate the street right-of-way necessary to accommodate Claremont Boulevard, and provide for new traffic signal infrastructure at the Ninth Street Intersection. Accordingly, a parcel map was required as a condition of approval when the Science Center was approved by the Architectural Commission on May 11, 2022. The parcel map is required to be approved and recorded prior to occupancy of the Science Center.

Section 17.050.070 of the Claremont Municipal Code (CMC) requires the Planning Commission to make eight findings in order to approve a Tentative Parcel Map. Staff believes that all of the necessary findings can be made for approval of the proposed map, as identified in the draft resolution (Attachment A). Staff further believes that the approval of the Tentative Parcel Map will bring the arrangement of parcels into compliance with CMC Title 17, the California Subdivision Map Act, and the California Building Code. In addition, the map serves to implement the previously-approved CMC Master Plan, the revised conceptual plan for Claremont Boulevard (Approved by the Traffic and Transportation Commission in July 2022), and the revised East Campus Concept Plan approved by the Architectural and Preservation Commission on July 24, 2024.

CEQA REVIEW

This parcel map is intended only to modify property lines to match existing use patterns with no corresponding change in use. No new development is entitled under this Parcel Map that is not already contemplated in either the Claremont McKenna College Master Plan or East Campus Project. Environmental Impact Reports were certified for both the Claremont McKenna College Master Plan FEIR (SCH#2011031050) and East Campus Project FEIR (SCH#2010021040), both of

which this tentative parcel map is intended to implement.

When the concept plan for the East Campus was revised in July 2024 to include the proposed subterranean tunnel, a detailed analysis was completed and addendum was created to address the requirements of the California Environmental Quality Act (CEQA) as it pertains to the proposed revisions to the original East Campus Conceptual Site Plan. The applicant worked with both the City of Upland and City of Claremont to determine the appropriate approach to analyze the changes. Ten separate technical studies were completed and reviewed by each City. This process resulted in a determination that an Addendum to the previously certified FEIR for the Project was appropriate.

An Addendum to the FEIR (SCH#2010021040) was prepared by Environmental Science Consultants (ESA) for the Cities of Upland and Claremont pursuant to CEQA (Title 14, Sections 15162 and 15164), which determined that the revised project consists of minor modifications to the previously approved Conceptual Site Plan that constitute minor changes as they do not modify the type of uses, increase density or intensity, create new or increased environmental impacts that cannot be mitigated, or result in health and safety violations. As analyzed in the Addendum, the proposed revised project will not result in any new or substantially more severe environmental impacts, and thus does not require a subsequent or supplemental EIR. Therefore, the City has determined that no additional environmental review is required at this time.

PUBLIC NOTICE PROCESS

The agenda and staff report for this item have been posted on the City website and distributed to interested parties. If you desire a paper copy, please contact Nhi Atienza at natienza@claremontca.gov.

On Thursday, December 5, 2024, the property was posted and written notices were mailed to property owners within 300 feet of the boundary of the subject property. A copy of this staff report has been mailed to the applicant and any other interested parties.

Submitted by:

Brad Johnson
Community Development Director

Prepared by:

Christopher Veirs
Principal Planner

Attachments:

- A - Draft Planning Commission Resolution
- B - TPM 84366
- C - Amended Site Plan for CMC Master Plan.
- D - Amended Claremont Boulevard Concept Plan
- E - Excerpts from Approved Plans for the Science Center
- F - Excerpts from the Revised East Campus Sports Bowl and Tunnel Concept Plans

RESOLUTION NO. 2024-**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CLAREMONT, CALIFORNIA, APPROVING TENTATIVE PARCEL MAP 84366, WHICH MODIFIES TWO PARCELS (APNS: 8308-025-004 & 8308-025-013), AND DEDICATES RIGHT-OF-WAY FOR CLAREMONT BOULEVARD AND A RELATED TRAFFIC SIGNAL AT NINTH STREET AND CLAREMONT BOULEVARD. APPLICANT – CLAREMONT MCKENNA COLLEGE**

WHEREAS, Claremont McKenna College (“CMC”), the current property owner, wishes to modify two existing parcels on the campus to reflect actual boundary between the CMC and Pitzer College campuses and to dedicate the right-of-way necessary to implement the previously-approved plan for converting Claremont Boulevard to a more pedestrian and bicycle friendly street; and

WHEREAS, a tentative parcel map is required to make the changes desired by CMC; and

WHEREAS, on June 23, 2022, the applicant submitted an application requesting approval of Tentative Parcel Map #84366 (“TPM 84366”) to modify the two parcels as described above; and

WHEREAS, as plans for the adjacent East Campus Sports Bowl project were refined, CMC determined that it would be advantageous to construct a subsurface tunnel to link those parking and sports facilities with the main CMC campus via pedestrian tunnel and the City determined that the appropriate legal instrument for granting access rights for the tunnel was through an easement included as part of the TPM 84366 application; and

WHEREAS, the TPM 84366 application has been revised to include an easement to allow construction of a subsurface tunnel under Claremont Boulevard linking East Campus parking and sports facilities with the main CMC campus; and

WHEREAS, the proposed TPM 84366 is consistent with the property’s General Plan designation of Institutional and zoning designation of Institutional Educational, and all applicable standards of the City’s General Plan and Municipal Code; and

WHEREAS, on December 17, 2024, the Planning Commission held a duly noticed public hearing, at which time all persons wishing to testify in connection with the said proposal were heard and said proposal was fully studied.

NOW, THEREFORE, THE PLANNING COMMISSION DOES HEREBY RESOLVE:

SECTION 1. CEQA - This parcel map is intended only to modify property lines to match existing use patterns and previously-approved public improvements with no corresponding change in use or scope. No new development is entitled under this Parcel Map that is not already contemplated in either the Claremont McKenna College Master Plan or East Campus Project. Environmental Impact

Reports were certified for both the Claremont McKenna College Master Plan FEIR (SCH#2011031050) on July 10, 2012 and East Campus Project FEIR (SCH#2010021040) on October 31, 2011, or the Addendum to the East Campus Project EIR completed on June 10, 2024. The tentative parcel map is intended to implement development already analyzed in each of these three documents.

When the concept plan for the East Campus was revised in 2024 to include the proposed revisions to the Sports Bowl Conceptual Plan including the subterranean tunnel, a detailed analysis was completed and addendum was created to address the requirements of the California Environmental Quality Act (CEQA) as it pertains to the proposed revisions to the original East Campus Conceptual Site Plan. The applicant worked with both the City of Upland and City of Claremont to determine the appropriate approach to analyze the changes. Ten separate technical studies were completed and reviewed by each City. This process resulted in a determination that an Addendum to the previously certified FEIR for the Project was appropriate.

An Addendum to the FEIR (SCH#2010021040) was prepared by Environmental Science Consultants (ESA) for the Cities of Upland and Claremont pursuant to CEQA (Title 14, Sections 15162 and 15164), which determined that the revised project consists of minor modifications to the previously-approved Conceptual Site Plan that constitute minor changes as they do not modify the type of uses, increase density or intensity, create new or increased environmental impacts that cannot be mitigated, or result in health and safety violations. As analyzed in the Addendum, the proposed revised project will not result in any new or substantially more severe environmental impacts, and thus does not require a subsequent or supplemental EIR. Therefore, the City has determined that no additional environmental review is required at this time.

SECTION 2. Parcel Map Findings - This parcel map is intended only to modify property lines to match existing use patterns and previously-approved street improvements. The Claremont Planning Commission makes the following findings for approval of TPM 84366, in accordance with Section 17.050.070 of the Claremont Municipal Code:

- A. *The proposed map or the design or improvement of the subdivision is consistent with the General Plan or any applicable specific plan, and with other applicable provisions of this Code.*

The proposed parcel map is consistent with the General Plan, and with the applicable provisions of the Claremont Municipal Code. The properties are both zoned Institutional Educational and owned by an institution (CMC). The resulting lots are in compliance with all applicable code standards regarding area, dimensions and access to public streets. The resulting lots will align the property lines of Parcel 1 with the campus boundary between Pitzer College and CMC and eliminate a property line conflict with the Robert Day Integrated Science Center. The new right-of-way dedications associated with the parcel map will accommodate the previously-approved plans for improving Claremont

Boulevard. In addition, the map provides for additional pedestrian safety by facilitating construction of a grade separated pedestrian tunnel under Claremont Boulevard.

More specifically, the proposed parcel map implements General Plan Policy 4-3.13 (*“Provide and maintain safe bicycle and pedestrian links to adjacent communities east, west, and south of Claremont”*) by providing additional public right-of-way for protected bicycle lanes, widened sidewalks, and improved crosswalks. By providing an easement for a grade separation (pedestrian tunnel) connection to a proposed large new parking structure east of Claremont Boulevard, the parcel map would implement General Plan Policy 4-6.2 (*“Provide parking that minimizes impacts to adjacent residential neighborhoods”*) and Gen Plan Policy 4-6.3 (*“Work with Colleges to manage parking and promote use of peripheral parking lots”*).

B. The site is physically suitable for the type and density of development.

The site is physically suitable for the request to reorganize existing parcels into lots that match better current ownership and use patterns and to dedicate land to the City for the provision of street improvements approved as part of the CMC Master Plan and East Campus Plan. No new development is proposed in connection to the request for Tentative Parcel Map #84366. Rather, the request has been made as a condition of approval for the previously-approved CMC Science Center, which was deemed to be consistent with the CMC Master Plan and its associated EIR prior to approval by the City.

C. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage nor substantially and avoidably injure fish or wildlife or their habitat. However, notwithstanding the foregoing, the decision-making body may nevertheless approve such a subdivision if a tentative map was prepared for the project and a finding was made that specific economic, social, or other consideration make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

The parcel map does not entitle any development that has not already been reviewed by the City through a process that included extensive environmental review. Development on the CMC Campus and West side of the Claremont McKenna College Master Plan or East Campus Project. Environmental Impact Reports were certified for both the Claremont McKenna College Master Plan FEIR (SCH#2011031050) on July 10, 2012 and East Campus Project FEIR (SCH#2010021040) on October 31, 2011. An Addendum to the East Campus Project EIR was completed for the revised design of the East Campus, including the new pedestrian tunnel, on June 10, 2024. The tentative parcel map is intended to implement development already analyzed in each of these three documents, which have found that the development associate with the parcel map will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat, as the campus is already substantially developed.

Mitigation Monitoring and Reporting Programs have been adopted for the purpose of tracking the mitigation efforts associated with the CMC Master Plan and East Campus Project. The parcel map, which reorganizes parcels and dedicates land for public right-of-way purposes, will not result in any physical changes to the project site beyond what was already approved, conditioned, and mitigated.

- D. That the design of the subdivision or the type of improvements is not likely to cause serious public health or safety problems.*

The proposed parcel map has been requested as a condition of approval for the previously-approved Robert Day Integrated Science Center, which was independently analyzed, conditioned and mitigated for environmental impacts under the CMC Master Plan EIR (SCH#2011031050). The reorganization of parcels and dedication of right-of-way and granting of associated easements detailed in the Parcel Map were required as a condition of approval for the Robert Day Integrated Science Center and will not result in any physical changes to the project site beyond what was already approved, conditioned, and mitigated.

In addition, the Parcel Map requires dedication for street safety improvements that encourage pedestrian and bicycle travel, which is expected to improve public health. The proposed tunnel easement connects perimeter parking lots with the CMC campus helping to reduce the need for autos on the campus and encouraging pedestrian activity. The tunnel easement also facilitates a grade separation for pedestrians from the vehicles traveling on Claremont Boulevard, a secondary arterial street. The tunnel easement also improves the convenience and connection between the main campus and athletic facilities and hiking trails of the sports bowl, which is anticipated to further improve the health of the CMC student body.

- E. That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the decision-making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.*

Nine easements (6 plottable and 3 non-plottable) exist within the boundaries of the parcel map. Each easement will remain in place under the proposed parcel map. Three additional easements are being granted, one to the City for public right-of-way purposes (pedestrian areas), one to Southern California Water Company for installation of water lines, and one to CMC for construction of a

subsurface tunnel for utilities, pedestrians and limited vehicular passage and access. Easements for access and public utilities are reserved and retained as needed by the public utilities, and the proposed parcel map and planned use of the property will not prevent access to or use of these easements.

- F. That solar access and passive heating and cooling design requirements have been satisfied in accordance with Chapter 17.013.*

The proposed parcel map makes no changes in use or development potential of the site. All development related to the parcel map has been previously-approved as part of the Robert Day Integrated Science Center application or the East Campus Sports Bowl. Each project was fully analyzed under CEQA and no impacts to solar access or passive heating were identified to be significant. Furthermore, both the Science Center and Sports Bowl developments are located on large lots bordered by wide roadways, parking lots and open spaces or parking lots owned by the Applicant. While the Science Center could potentially impact future development north of Sixth Street, the potential for shading is limited due to changes in grade and distance of the building from Sixth Street. The Sports Bowl improvements are located almost exclusively within an existing aggregate mining pit/ inert landfill and separated from adjacent parcels by wide streets. There is no potential for solar shading from the Sports Bowl Project. As such, the requirements of Chapter 17.013 regarding solar access and passive heating are met without the need for calculations or dedication of solar easements.

- G. That the subdivision balances the housing needs of the region against the public service needs of the City's residents and available fiscal and environmental resources.*

The proposed parcel map relates exclusively to college-owned land that is zoned for educational institution uses and previously-approved for development related to those uses. The parcel map therefore has no impact to the housing needs of the region. The Parcel Map has been required as a condition of approval for the previously-approved Robert Day Integrated Science Center, which is included as part of the CMC Master Plan. The CMC Master Plan was independently analyzed to address the housing needs of the region against the development needs of the Applicant as a non-profit educational institution with national reputation for excellence. The CMC Master Plan EIR was fully analyzed for its potential to impact to regional housing needs and determined that impacts related to both "Inducement of Substantial Population Growth" and "Displacement of People and Housing" were less than significant without mitigation.

The EIR also determined that impacts related to all public services were less than significant without mitigation. Similarly, the EIR found that impacts to environmental resources including special status plants, wildlife movement, nesting birds, and on-site trees would be less than significant with mitigations

incorporated through the EIR's Mitigation Monitoring and Reporting Program (MMRP).

Finally, while economic impacts are generally not considered to significantly impact the environment, the CMC Master Plan EIR determined that the benefits of the project on local fiscal resources was likely to be positive, consistent with a number of goals and policies in the Claremont General Plan.

- H. *That the discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements of the Los Angeles Regional Water Quality Control Board.*

The consolidation and reorganization of the existing parcels and dedication of additional utility easements and public rights-of-way contained in the map will not result in physical changes to the property or constraints on the existing sewer system. In addition, all future development in the City is subject to stringent requirements regarding pollutant elimination, ground water percolation, and separation of sewer and stormwater systems (MS4). The proposed parcel map therefore will not result in a violation of existing requirements of the Los Angeles Regional Water Control Board.

Furthermore, the CMC campus is already connected to the existing sewer system and determined to have adequate capacity for development associated with the map. Although the proposed tunnel easement has the potential to constrain future sewer lines, it has been carefully designed to accommodate any reasonably foreseeable future sewer lines by providing at least ten feet of clearance between the Claremont Boulevard Street surface and the top of the tunnel easement.

SECTION 3. The Claremont Planning Commission hereby approves Tentative Parcel Map 84366 subject to the following conditions:

- A. Tentative Parcel Map 84366 shall expire three (3) years from the date of this Planning Commission resolution unless extended under Government Code Section 66452.6. The final Parcel Map shall be filed with the City Engineer and shall comply with the Subdivision Map Act of the State of California and all applicable ordinances, requirements, and resolutions of the City of Claremont.
- B. The applicant shall submit within two days of Planning Commission approval a check in the amount of \$75 payable to the Los Angeles County Clerk for filing a Notice of Determination (NOD), as required by the California Environmental Quality Act.
- C. Prior to submittal of the Final Map, the Applicant shall provide an exhibit indicating how the Final Map's right-of-way dedication, in conjunction with the Tract Map and development plan for the eastern side of Claremont Boulevard, are adequate to accommodate the revised concept plan for Claremont Boulevard that was approved by the City on September 30, 2021. This revised

street plan includes protected bicycle lanes, extended curbs (bulb-outs), ladder style crosswalks, and landscaped parkways.

- D. The Final Map shall be in conformance with the approved Tentative Map and comply with the California Subdivision Map Act, and all applicable City Ordinances and Resolutions. The Final Map shall indicate all additional dedications for street right-of-way, landscape, pedestrian access, sewer lines, storm drain lines, or overland flow, as necessary. The Final Map shall be approved for recording by the City Council and be recorded with the County Recorder.
- E. The processing of the Final Map is subject to any applicable requirements of the Development Agreements for both the CMC Master Plan and East Campus Project.
- F. Final Map Submittal - In order to allow for review pursuant to Government Code §66452.2, Applicant shall submit the following documents for review and approval by the City Engineer and Acting Land Surveyor at least sixty (60) days before filing the original, signed Final Map:
 - 1. A signed copy of the proposed final map;
 - 2. Signed offers of dedication for all necessary easements consistent with the Tentative Map including those for roadway purposes, signal infrastructure, public sidewalks, drainage facilities, sanitary sewer, landscaping, utilities, ingress and egress, and any other purpose designated on the Tentative Map; (Note: All dedications shall be recorded as directed by the City Engineer. No structures shall be placed on any part of an easement, except those directly related to the purposes of said easement, or otherwise approved by the City Engineer or respective easement holders. If applicable, any quitclaims by the City shall be executed and recorded prior to recordation of Final Map. The document number of all quitclaims shall be noted on the Final Map.)
 - 3. Closure calculations;
 - 4. Los Angeles County Benchmarks, which shall be used for vertical control;
 - 5. Final Map tax clearance from the Los Angeles County Land Development Office pursuant to Government Code Section § 66492;
 - 6. A note on all applicable map sheets that reflects that the private roads will have unimpeded access;
 - 7. A certified title report and backup documents that includes any/all reference maps and any easement documents referenced in the title report;
 - 8. A Subdivision Improvement Agreement for construction of Complete Streets Public Improvements on Claremont Boulevard within the map boundaries; and

9. A Street Improvements Plan, including but not limited to, street trees and parkway landscaping, public streetlights, ADA compliant sidewalks and handicap ramps, and drive approaches designed in compliance with all applicable City standards and consistent with the City's Complete Streets and Green Streets Policies.
- G. The City-approved Final Map shall be recorded with the Los Angeles County Recorders' Office prior to issuance of a Certificate of Occupancy for the Robert Day Integrated Science Center.
 - H. Applicant shall install street/roadway name signs per City Standard for public and private streets. Name signs for private streets shall indicate the street is private as determined appropriate by the City Engineer.
 - I. Applicant shall install red curb or post "no parking" signs per City's Curb Marking Policy on all public and private streets as determined necessary by the City Engineer and Fire Department.
 - J. Applicant shall install public streetlights in accordance with the Final Map and the City of Claremont Street Light Policy.
 - K. Existing traffic signage replacements and/or relocations and new signs to be installed within the project frontage shall be consistent with City and MUTCD standards, which include new reflective requirements.
 - L. Pay all fees and satisfy the requirements established by City ordinances and resolutions including, but not limited to, those set forth in the Claremont Municipal Code. These shall include, but not be limited to, the following:
 - Tentative and Final Map Check
 - Public Works Permit, plan check and inspection fees
 - Grading Permit, plan check and inspection fees
 - Development Impact Fees, including but not limited to: Transportation Impact, fire facility, school impact, sewer impact, and parkland fees
 - LID review
 - Hydrology Study review
 - Geotechnical Report review
 - M. Post security deposits/bonds guaranteeing:
 - construction within the public right-of-way and easement areas;
 - drainage and grading improvements;
 - construction of all utilities serving the site (including undergrounding of any/all utilities);
 - sewer improvements;
 - maintenance deposits; and
 - landscape improvements (including street trees)

- N. Prior to the release of applicable improvement bonds, the improvements authorized by either a grading permit or public works permit shall be done to the satisfaction of the City Engineer. Prior to construction, the applicant shall obtain both a public works permit, and grading and on-site improvement permit from the Engineering Division.
- O. Monument preservation shall be done in accordance with California Business Professions Code Section 8771.
- P. Prior to construction of the public improvements associated with this map, Applicant shall provide written verification that the requirements of all applicable Mitigation Measures from the CMC Master Plan MMRP have been satisfied and will be continuously observed during the construction of the improvements.
- Q. The applicant shall be responsible for providing the Master Plan recommended traffic signal improvements for the intersection of Claremont Boulevard and 9th Street in conjunction with the complete streets improvements at the west side of Claremont Boulevard from 9th Street to 6th Street.
- R. Private streets, alleys, and drives shall be re-constructed as determined by a geotechnical report, with a minimum four-inch of asphalt over four-inches of compacted native materials.
- S. Provide proof of compliance (letter of clearance) with LACFD conditions.
- T. Provide proof of compliance (letter of clearance) with GSW requirements.
- U. Applicant shall provide records of maintenance of all applicable Best Management Practices (BMP's) during construction.
- V. Completed Annual BMP Certification form with up-to-date contact information. The Annual BMP Maintenance form shall be submitted to the City of Claremont annually prior to October 15th.

SECTION 4. The Chair shall sign this Resolution and the Commission Secretary shall attest and certify to the passage and adoption thereof.

PASSED, APPROVED, AND ADOPTED this 17th day of December, 2024.

Planning Commission Chair

ATTEST:

Planning Commission Administrative Secretary

LEGAL DESCRIPTION

(PER FIRST AMERICAN TITLE REPORT ORDER No. 0623-6457723 DATED MAY 11, 2022)

PARCEL A: APN: 8308-025-004 AND WITH OTHER PROPERTY PARCEL 2 AS SHOWN ON CERTIFICATE OF COMPLIANCE (LOT LINE ADJUSTMENT), AS EVIDENCED BY DOCUMENT RECORDED SEPTEMBER 23, 1989 AS INSTRUMENT NO. 86-1265173 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 8 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF CLAREMONT, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF EAST CLAREMONT, RECORDED IN BOOK 28, PAGE 80 OF MISCELLANEOUS RECORDS OF SAID COUNTY; THENCE SOUTHERLY ALONG THE SOUTHERLY PROLONGATION OF THE EASTERLY LINE OF SAID EAST CLAREMONT, 757.10 FEET; THENCE WESTERLY PARALLEL WITH THE SOUTH LINE OF SAID EAST CLAREMONT, 331.93 FEET TO THE EAST LINE OF THE LAND CONVEYED TO POMONA COLLEGE CORPORATION, BY DEED RECORDED IN BOOK 754, PAGE 282, OFFICIAL RECORDS, OF SAID COUNTY; THENCE NORTHERLY ALONG SAID LINE, 757.10 FEET TO A POINT IN THE SOUTH LINE OF SAID EAST CLAREMONT; THENCE EASTERLY ALONG SAID SOUTH LINE 331.93 FEET TO THE POINT OF BEGINNING.

PARCEL B: APN: 8308-025-013 THAT PORTION OF THE WESTERLY 30 ACRES OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 8 WEST, S. B. M., ACCORDING TO THE OFFICIAL PLAT OF THE SURVEY OF SAID LAND ON FILE IN THE BUREAU OF LAND MANAGEMENT, LYING SOUTH OF THE EASTERLY PROLONGATION OF THE CENTER LINE OF 9TH STREET, 60 FEET WIDE, AS SHOWN ON THE MAP OF EAST SIDE ADDITION TO CLAREMONT, RECORDED IN BOOK 10 PAGE 125 OF MAPS, RECORDS OF SAID COUNTY.

ALSO THAT PORTION OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 10 WHICH LIES NORTH OF THE NORTHERLY LINE OF SIXTH STREET AND IMMEDIATELY SOUTH OF THE ABOVE DESCRIBED LAND.

EXCEPTING ANY PORTION OF THE ABOVE DESCRIBED LAND INCLUDED WITHIN THE LIMITS OF ANY PUBLIC HIGHWAY.

PLOTTABLE EASEMENTS

- 7 EASEMENT FOR PUBLIC ROAD TO CITY OF CLAREMONT PER INST. NO. 3940, O.R.
8 AN EASEMENT FOR ELECTRICAL FACILITIES IN FAVOR OF SOCIAL EDISON CO. PER INST. NO. 4308, O.R.
9 AN EASEMENT FOR PUBLIC ROAD & HIGHWAY PURPOSES IN FAVOR OF THE CITY OF CLAREMONT PER INST. NO. 1981, O.R.
10 NON EXCLUSIVE EASEMENT IN FAVOR OF SOUTHERN COUNTIES GAS CO PER INST. NO. 2295, O.R.
11 NON EXCLUSIVE EASEMENT IN FAVOR OF SOCIAL WATER CO. PER INST. NO. 2324, O.R.
12 NON-EXCLUSIVE AGREEMENT FOR INGRESS & EGRESS PER INST. NO. 87-1078281, O.R.

NON-PLOTTABLE EASEMENTS

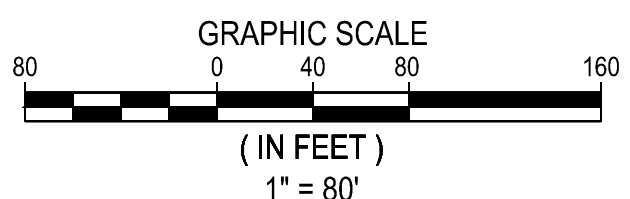
A RIGHT OF WAY FOR DITCHES AND CANALS AS RESERVED BY THE UNITED STATES OF AMERICA IN THE PATENT RECORDED JANUARY 3, 1889 IN BOOK 4 OF PATENTS, PAGE 280.

THE EFFECT OF A GRANT OF E.J. FLEMING, THEN THE OWNER OF AN UNDIVIDED THIRD OF SAID LAND TO ONTARIO WATER COMPANY OF A RIGHT OF WAY FOR A PIPELINE OVER A PORTION OF LANDS AS CONTAINED IN THE DEED RECORDED IN BOOK 1295, PAGE 277 OF DEEDS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AND IN BOOK 607, PAGE 330 OF DEEDS IN THE OFFICE OF THE COUNTY RECORDER OF SAN BERNARDINO COUNTY. (AFFECTS PARCEL B)

AN EASEMENT IN FAVOR OF S.O. CA. EDISON COMPANY, A CORPORATION, FOR RIGHT OF WAY TO CONSTRUCT, USE, MAINTAIN, OPERATE, ALTER, ADD TO, REPAIR, REPLACE, RECONSTRUCT, INSPECT AND REMOVE AT ANY TIME AND FROM TIME TO TIME UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATIONS, CONSISTING OF WIRES, UNDERGROUND CONDUITS, CABLES, VAULTS, MANHOLES, HANDHOLES, AND INCLUDING ABOVE-GROUND ENCLOSURES, MARKERS AND CONCRETE PADS AND OTHER APPURTENANT FIXTURES AND EQUIPMENT NECESSARY OR USEFUL FOR DISTRIBUTING ELECTRICAL ENERGY AND FOR TRANSMITTING INTELLIGENCE, DATA AND/OR COMMUNICATION S (EG. THROUGH FIBER OPTIC CABLE) IN, ON, OVER, UNDER, ACROSS AND ALONG THAT CERTAIN REAL PROPERTY AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 02, 2021 AS INSTRUMENT NO. 20211349604 OF OFFICIAL RECORDS. (AFFECTS PARCEL B)

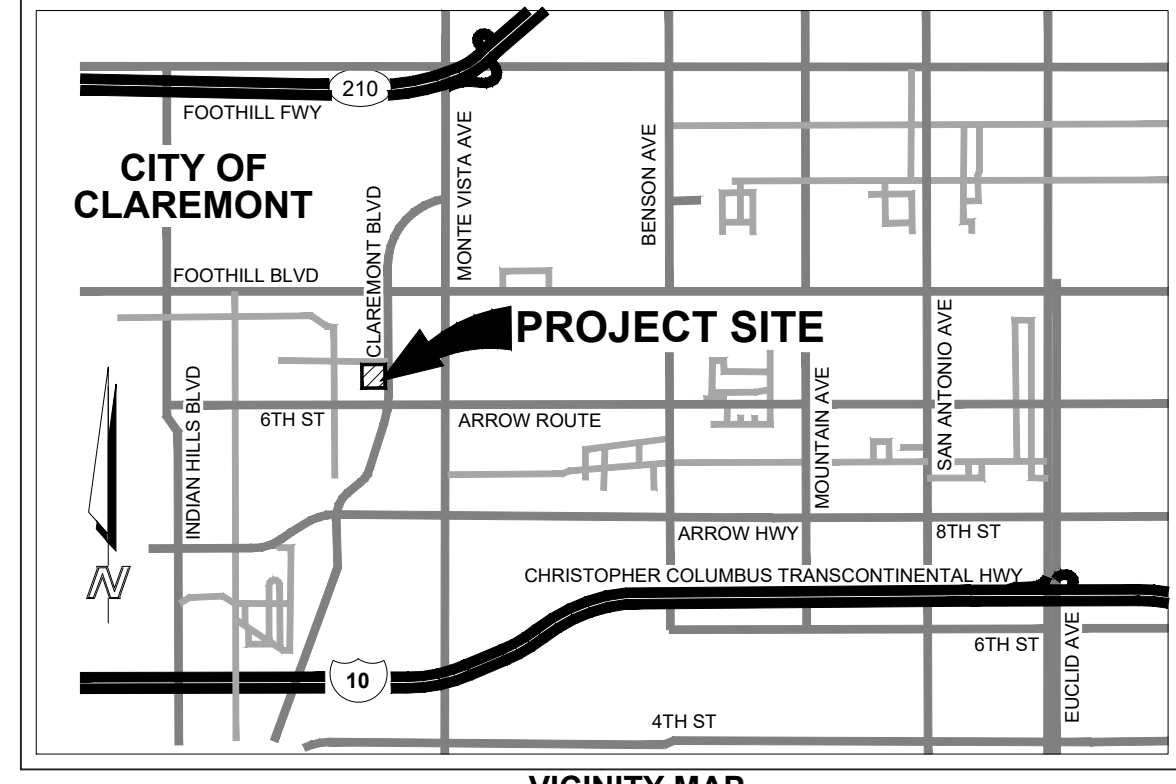
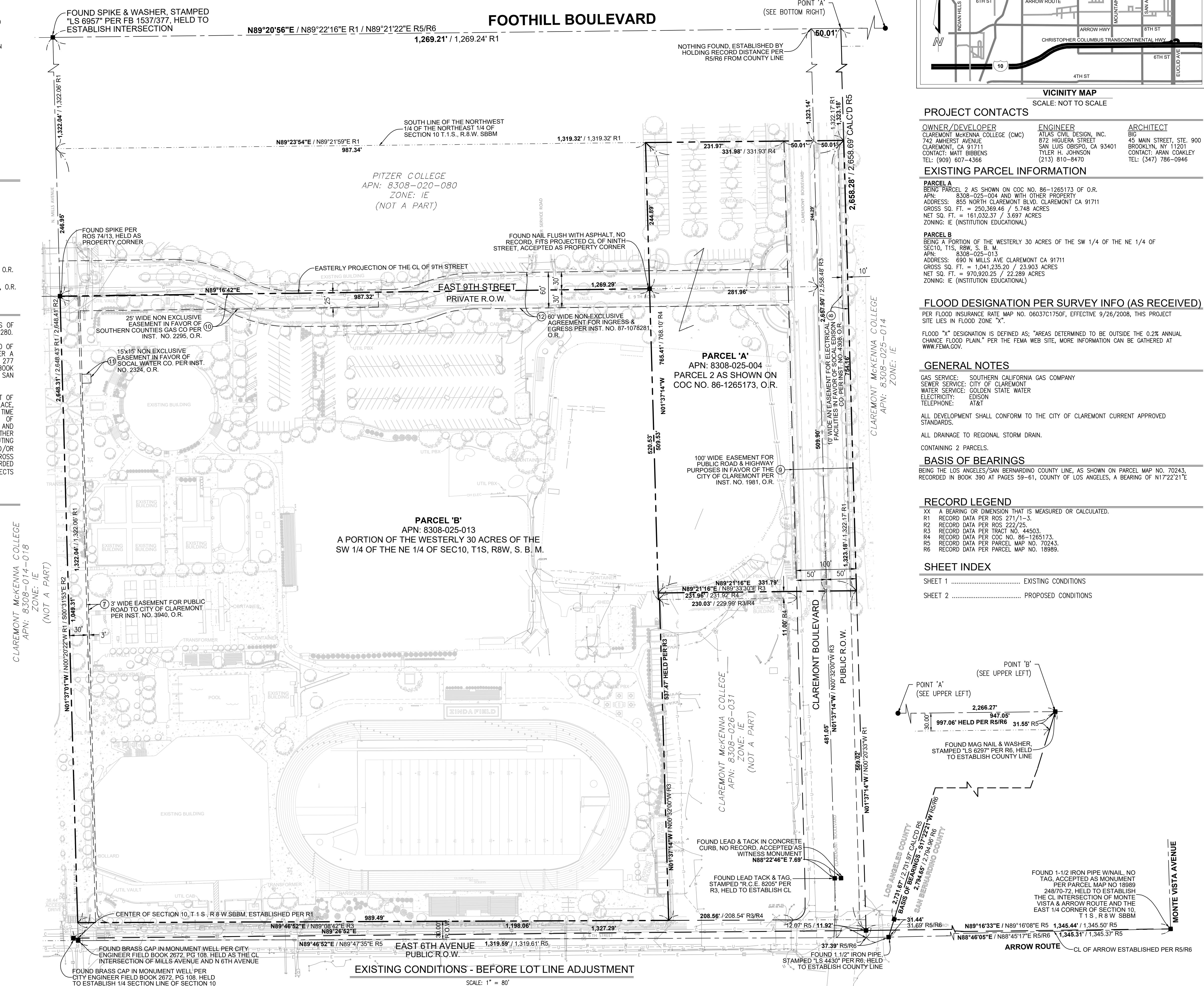
LEGEND (EXISTING)

- PROPERTY BOUNDARY LINE
CENTERLINE
INDETERMINATE BOUNDARY LINE
EASEMENT LINE
EXISTING CONTOURS
EXISTING CHAIN LINK FENCE
EXISTING WROUGHT IRON FENCE
BLOCK WALL
EXISTING SEWER MAIN
EXISTING WATER MAIN
EXISTING GAS MAIN
EXISTING ELECTRICAL
EXISTING UNDERGROUND UTILITY LINE
EXISTING STREET LIGHT LINE
POST INDICATOR VALVE
BACKFLOW PREVENTER
ELECTRIC COMMUNICATION
BUILDING HEIGHT LOCATION
FIRE HYDRANT
LIGHT WITH CONCRETE BASE
WATER VALVE
GAS VALVE
STORM DRAIN MANHOLE
SANITARY SEWER MANHOLE
SEWER CLEANOUT
GREASE INTERCEPTOR MANHOLE
COMMUNICATION MANHOLE
SPOT ELEVATIONS
STREET SIGN
UTILITY POLE
GUY WIRE
EXISTING BOLLARD
TRAFFIC SIGNAL/LIGHTPOLE
FOUND MONUMENT AS DESCRIBED
SET 5/8" I.P. W/ PLASTIC CAP TAG "LS 8645"
EXISTING BUILDING WITH OVERHANG
ASSASSORS PARCEL NUMBER
RIGHT OF WAY
PROPERTY LINE
CENTER LINE
FACE OF CURB
WALL
FENCE
INVERT
ICV IRRIGATION CONTROL VALVE
PULLBOX
FIRE DEPARTMENT CONNECTION



CITY OF CLAREMONT, COUNTY OF LOS ANGELES, CA
TENTATIVE PARCEL MAP NO. 84366
INTEGRATED SCIENCES BUILDING ~ CLAREMONT McKENNA COLLEGE

BEING A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 8 WEST, S.B.M.
CITY OF CLAREMONT, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA,



PROJECT CONTACTS
OWNER/DEVELOPER: CLAREMONT McKENNA COLLEGE (CMC)
ENGINEER: ATLAS CIVIL DESIGN, INC.
ARCHITECT: BIG
ADDRESS: 742 AMHERST AVENUE, CLAREMONT, CA 91711
CONTACT: WATT BIRRENS, TYLER H. JOHNSON, ARAN COAKLEY

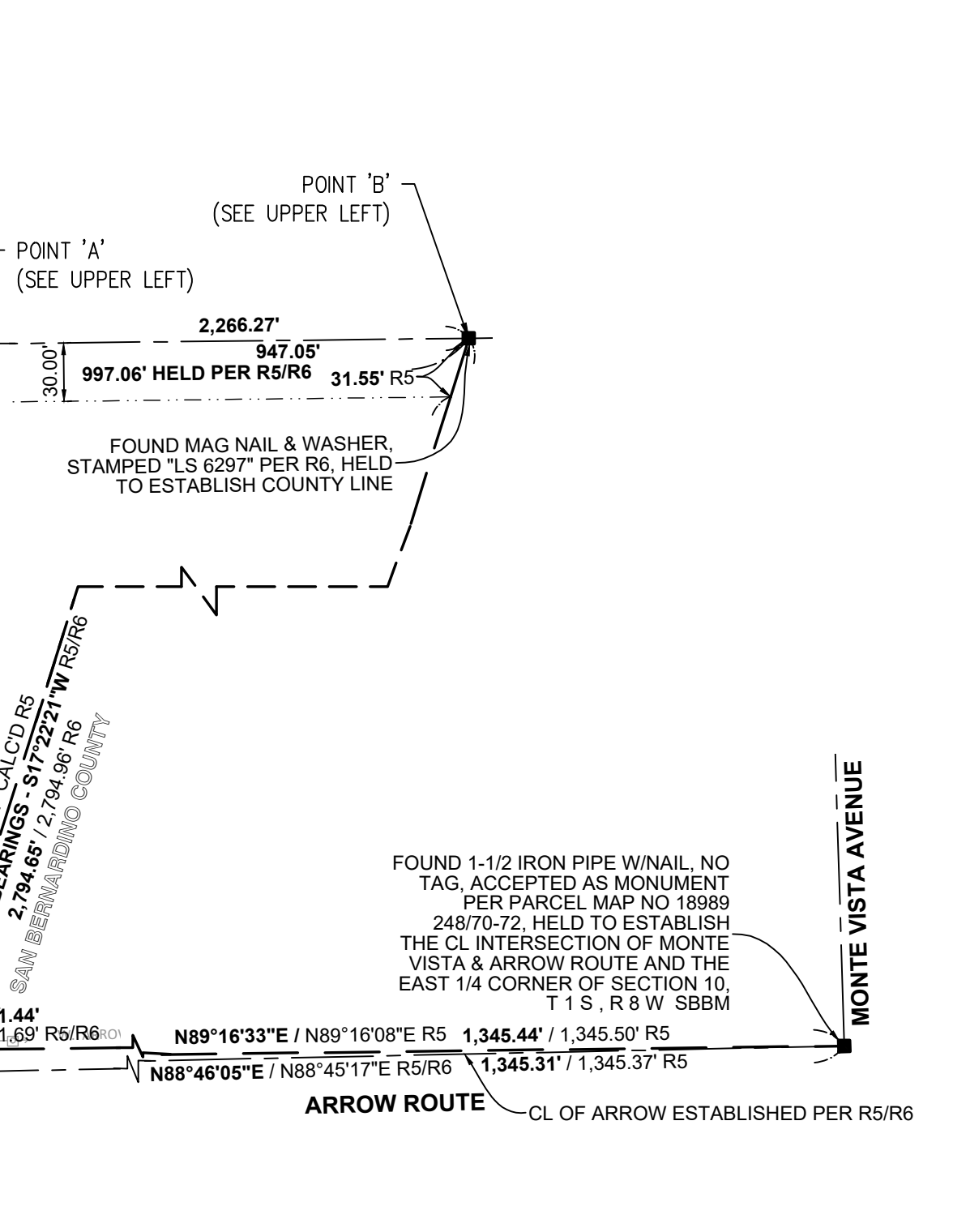
EXISTING PARCEL INFORMATION
PARCEL A: BEING PARCEL 2 AS SHOWN ON COC NO. 86-1265173 OF O.R.
ADDRESS: 855 NORTH CLAREMONT BLVD. CLAREMONT CA 91711
GROSS SQ. FT. = 250,369.46 / 5.748 ACRES
NET SQ. FT. = 161,032.37 / 3.697 ACRES
ZONING: IE (INSTITUTION EDUCATIONAL)
PARCEL B: BEING A PORTION OF THE WESTERLY 30 ACRES OF THE SW 1/4 OF THE NE 1/4 OF SEC10, T1S, R8W, S. B. M.
ADDRESS: 690 N MILLS AVE CLAREMONT CA 91711
GROSS SQ. FT. = 1,041,235.20 / 23.903 ACRES
NET SQ. FT. = 970,920.25 / 22.289 ACRES
ZONING: IE (INSTITUTION EDUCATIONAL)

FLOOD DESIGNATION PER SURVEY INFO (AS RECEIVED)
PER FLOOD INSURANCE RATE MAP NO. 06037C1750F, EFFECTIVE 9/26/2008, THIS PROJECT SITE LIES IN FLOOD ZONE "X".
FLOOD "X" DESIGNATION IS DEFINED AS: "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN." PER THE FEMA WEB SITE, MORE INFORMATION CAN BE GATHERED AT WWW.FEMA.GOV.

GENERAL NOTES
GAS SERVICE: SOUTHERN CALIFORNIA GAS COMPANY
SEWER SERVICE: CITY OF CLAREMONT
WATER SERVICE: GOLDEN STATE WATER
ELECTRIC: EDISON
TELEPHONE: AT&T
ALL DEVELOPMENT SHALL CONFORM TO THE CITY OF CLAREMONT CURRENT APPROVED STANDARDS.
ALL DRAINAGE TO REGIONAL STORM DRAIN.
CONTAINING 2 PARCELS.

RECORD LEGEND
XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED.
R1 RECORD DATA PER ROS 271/1-3.
R2 RECORD DATA PER ROS 222/25.
R3 RECORD DATA PER TRACT NO. 44503.
R4 RECORD DATA PER COC NO. 86-1265173.
R5 RECORD DATA PER PARCEL MAP NO. 70243.
R6 RECORD DATA PER PARCEL MAP NO. 18989.

SHEET INDEX
SHEET 1 EXISTING CONDITIONS
SHEET 2 PROPOSED CONDITIONS



Atlas Civil Design logo and contact information: Civil Engineering • Site Optimization, www.atlascivildesign.com, Tel: 1-760-718-8010

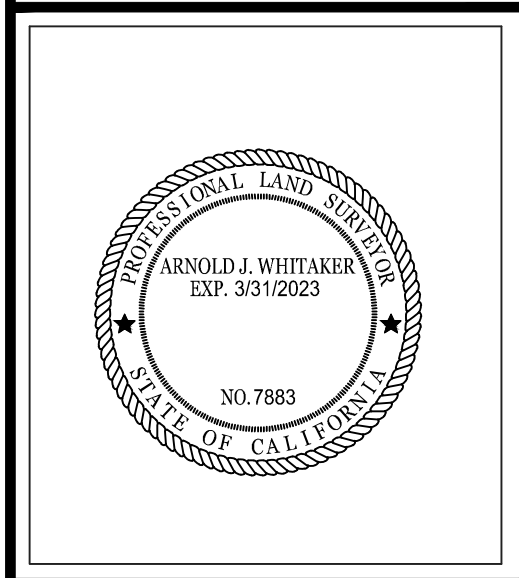


Table with columns for DATE, REVISIONS, and BY.

INTEGRATED SCIENCES BUILDING CLAREMONT McKENNA COLLEGE 855 N. CLAREMONT BLVD., CLAREMONT, CA 91711
PROPOSED TENTATIVE PARCEL MAP EXISTING CONDITIONS
PROJECT NUMBER: 20-104
PREPARED ON: 05/27/2022
REVISID ON: 12/16/2022
PREPARED BY: CRogers
CHECKED BY: AJW
SHEET 1 OF 2

3\SHARED\2020\20-104_CMC_SCIENCE_CENTER\CIVIL\DWG\TENTATIVE_PARCEL_MAP\20-104_TP00_EXISTING.DWG PLOT DATE: November 26, 2024

CITY OF CLAREMONT, COUNTY OF LOS ANGELES, CA
TENTATIVE PARCEL MAP NO. 84366

INTEGRATED SCIENCES BUILDING ~ CLAREMONT MCKENNA COLLEGE

BEING A PORTION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 10, TOWNSHIP 1 SOUTH, RANGE 8 WEST, S.B.M.
 CITY OF CLAREMONT, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA.

FOOTHILL BOULEVARD

LEGEND (PROPOSED)

- PROPERTY BOUNDARY LINE
- - - CENTERLINE
- - - EASEMENT LINE
- - - 335 EXISTING CONTOURS
- - - 335 PROPOSED CONTOURS
- X X X CHAIN LINK FENCE
- WROUGHT IRON FENCE
- █ BLOCK WALL
- S SANITARY SEWER
- SD STORM DRAIN
- W WATER MAIN
- FS FIRE WATER MAIN
- PROPOSED CONCRETE
- AC PAVEMENT
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- POST INDICATOR VALVE
- WATER VALVE
- STORM DRAIN MANHOLE
- SEWER CLEANOUT
- SEWER MANHOLE
- STREET SIGN
- LIGHT
- BOLLARD
- SURFACE RUNOFF FLOW DIRECTION

PLOTTABLE EASEMENTS (EXISTING)

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- ⑧ AN EASEMENT FOR ELECTRICAL FACILITIES IN FAVOR OF SOCAL EDISON CO. PER INST. NO. 4308, O.R.
- ⑨ AN EASEMENT FOR PUBLIC ROAD & HIGHWAY PURPOSES IN FAVOR OF THE CITY OF CLAREMONT PER INST. NO. 1981, O.R.
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BASIS OF BEARINGS

BEING THE LOS ANGELES/SAN BERNARDINO COUNTY LINE, AS SHOWN ON PARCEL MAP NO. 70243, RECORDED IN BOOK 390 AT PAGES 59-61, COUNTY OF LOS ANGELES, A BEARING OF N17°22'21"E

RECORD LEGEND

- XX A BEARING OR DIMENSION THAT IS MEASURED OR CALCULATED.
- R1 RECORD DATA PER ROS 271/1-3.
- R2 RECORD DATA PER ROS 222/25.
- R3 RECORD DATA PER TRACT NO. 44503.
- R4 RECORD DATA PER COC NO. 86-1265173.
- R5 RECORD DATA PER PARCEL MAP NO. 70243.
- R6 RECORD DATA PER PARCEL MAP NO. 18989.

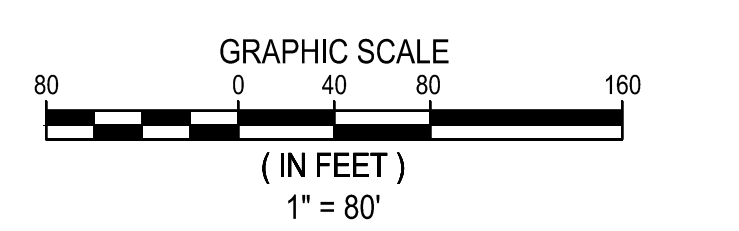
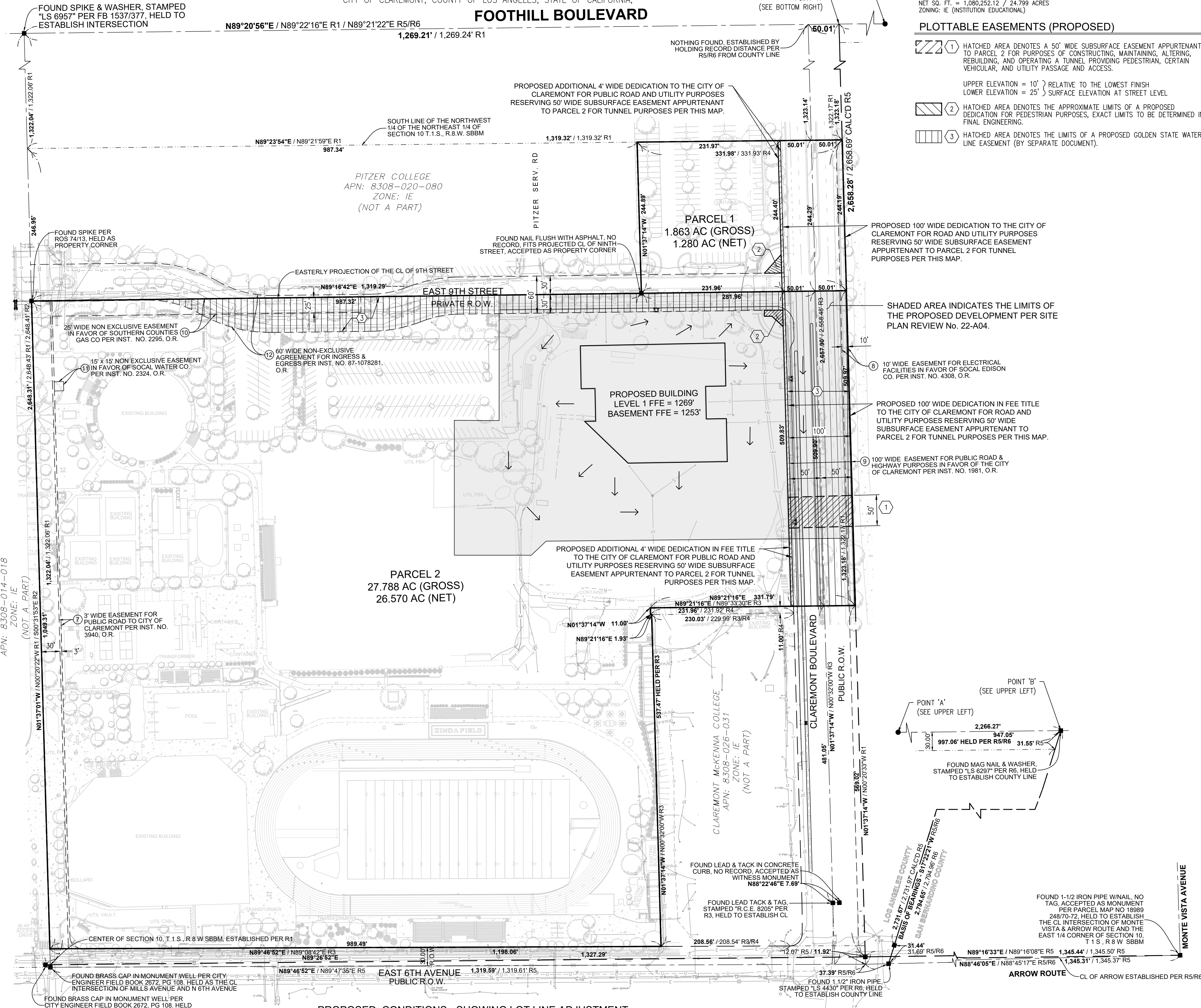
PROPOSED PARCEL INFORMATION

PARCEL 1
 GROSS SQ. FT. = 81,169.42 / 1.863 ACRES
 NET SQ. FT. = 48,923.58 / 1.123 ACRES
 ZONING: IE (INSTITUTION EDUCATIONAL)

PARCEL 2
 GROSS SQ. FT. = 1,210,435.24 / 27.788 ACRES
 NET SQ. FT. = 1,080,252.12 / 24.799 ACRES
 ZONING: IE (INSTITUTION EDUCATIONAL)

PLOTTABLE EASEMENTS (PROPOSED)

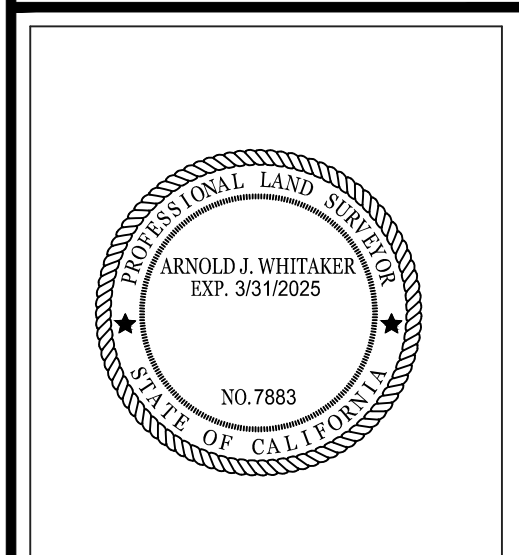
- ① HATCHED AREA DENOTES A 50' WIDE SUBSURFACE EASEMENT APPURTENANT TO PARCEL 2 FOR PURPOSES OF CONSTRUCTING, MAINTAINING, ALTERING, REBUILDING, AND OPERATING A TUNNEL PROVIDING PEDESTRIAN, CERTAIN VEHICULAR, AND UTILITY PASSAGE AND ACCESS.
 - ② HATCHED AREA DENOTES THE APPROXIMATE LIMITS OF A PROPOSED DEDICATION FOR PEDESTRIAN PURPOSES, EXACT LIMITS TO BE DETERMINED IN FINAL ENGINEERING.
 - ③ HATCHED AREA DENOTES THE LIMITS OF A PROPOSED GOLDEN STATE WATER LINE EASEMENT (BY SEPARATE DOCUMENT).
- UPPER ELEVATION = 10' } RELATIVE TO THE LOWEST FINISH
 LOWER ELEVATION = 25' } SURFACE ELEVATION AT STREET LEVEL



PROPOSED CONDITIONS - SHOWING LOT LINE ADJUSTMENT
 SCALE: 1" = 80'

Civil Engineering • Site Optimization
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DATE	REVISIONS	BY

INTEGRATED SCIENCES BUILDING
 CLAREMONT MCKENNA COLLEGE
 855 N. CLAREMONT BLVD., CLAREMONT, CA 91711

PROPOSED TENTATIVE PARCEL MAP
PROPOSED CONDITIONS

PROJECT NUMBER: 20-104
PREPARED ON: 05/27/2022
REVISED ON: 09/24/2024
PREPARED BY: CRogers
CHECKED BY: AJW
SHEET 2 OF 2

THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS. DO NOT SCALE THE DRAWING. ANY ERRORS OR OMISSIONS SHALL BE REPORTED TO ATLAS CIVIL DESIGN WITHOUT DELAY. THE COPYRIGHTS TO ALL DESIGNS AND DRAWINGS ARE THE PROPERTY OF ATLAS CIVIL DESIGN. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY ATLAS CIVIL DESIGN IS FORBIDDEN.

Updated Building Area Matrix Part 1

	2012 Proposed (GSF)	2012 Removed (GSF)	2012 Net Increase (GSF)	2020 Proposed (GSF)	2020 Removed (GSF)	2020 Net Increase (GSF)
Academic / Administrative / Support						
Academic 1	60,000			50,000		
Academic 2	60,000			50,000		
Remove Bauer North		-31,205			-31,205	
Remove Bauer South		-37,170			-37,170	
Mills Offices		-2,899			-2,899	
Academic 3	75,000					
Alumni - Admission	34,000					
Seaman Hall Renovation / Replacement	30,000	-6,182				
Integrated Science Building				135,000		
Remove CMC allocated area within Keck Science					-27,606	
Subtotal of Academic / Administrative / Support	259,000	-77,456	181,544	235,000	-98,880	136,120
Student Life Facilities						
Campus Center	140,000			103,448		
Remove Emmet Student Union		-7,472				
Remove McKenna Auditorium		-10,059				
Remove International Place		-1,097				
Remove Heggblade Center		-8,773				
Remove Collins Dining Hall		-20,507			-20,507	
Remove Story House		-3,580			-3,580	
Collins Dining Hall Replacement				24,000		
Rec Pool & Social Pavilion	8,000					
Athenaeum Addition	10,000					
Subtotal of Student Life Facilities	158,000	-51,488	106,512	127,448	-24,087	103,361
Residential Facilities						
Existing Student Apartments		-41,941			-41,941	
Proposed Student Apartments	140,000			140,000		
Residence Hall Quad	110,000			110,000		
Remove Philips Hall		-13,286				
Addition to Beckett Hall (2014)				5,060		
Addition to Claremont Hall (2015)				10,010		
Addition to Marks Hall (2015)				13,744		
Subtotal of Residential Facilities	250,000	-55,227	194,773	278,814	-41,941	236,873

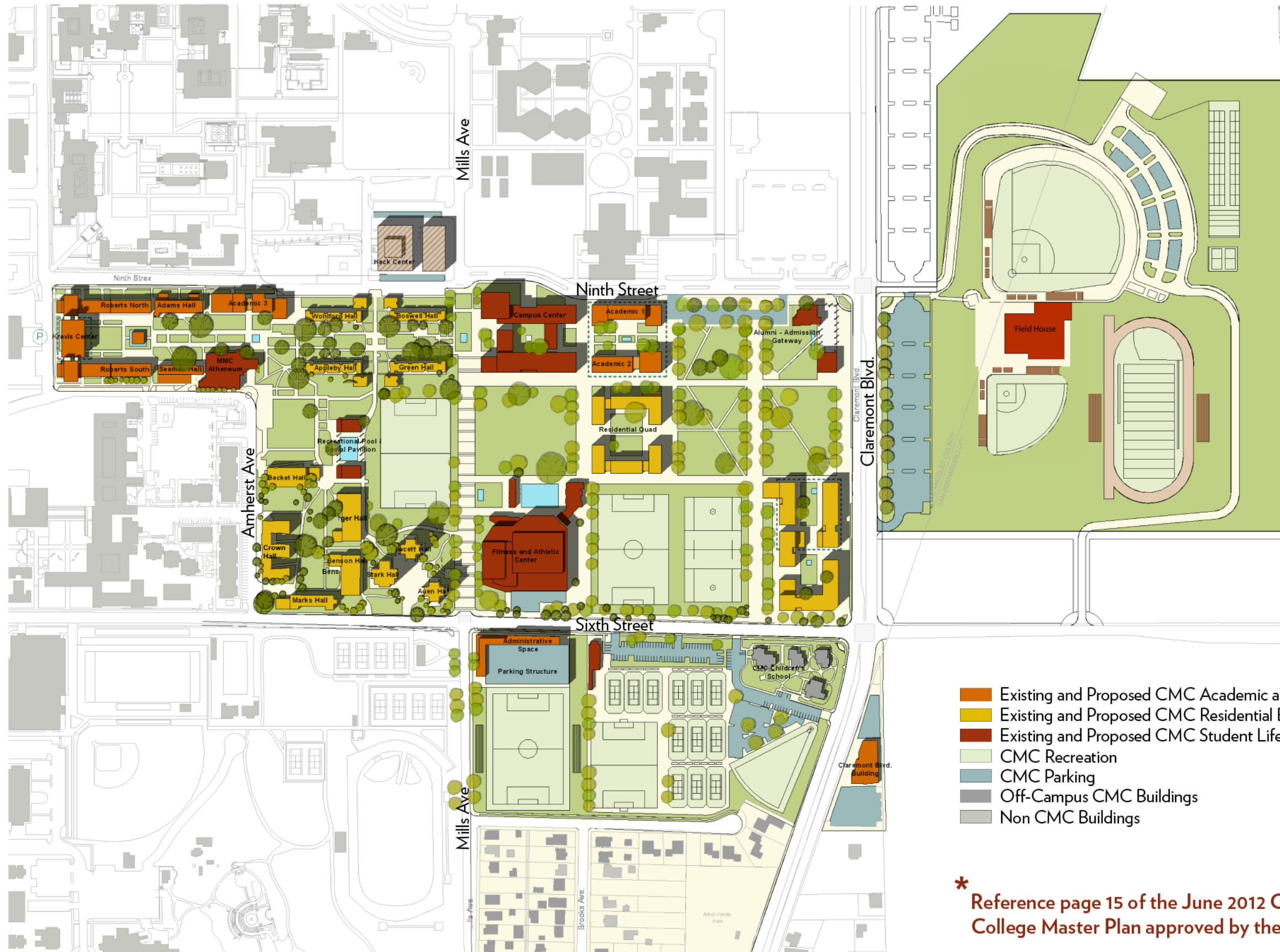
Updated Building Area Matrix Part 2

	2012 Proposed (GSF)	2012 Removed (GSF)	2012 Net Increase (GSF)	2020 Proposed (GSF)	2020 Removed (GSF)	2020 Net Increase (GSF)
Athletic Facilities						
Remove Ducey Gymnasium		-41,941			-41,941	
Fitness & Athletics Center (Completion of Roberts Pavilion in 2016)	132,000			138,475		
Removal of Existing Structures for Soccer Field		-25,000			-25,000	
Field House (East Campus Sports Complex)	30,000			30,000		
Subtotal of Athletic Facilities	162,000	-66,941	95,059	168,475	-66,941	101,534
Parking Structure						
Parking Structure Administrative Space	150,000			150,000		
Removal Existing Structures		-5,000			-5,000	
Subtotal of Parking Structure	150,000	-5,000	145,000	150,000	-5,000	145,000
Master Plan Increase in Area Totals			722,888			722,888
2012 CMC Existing Campus Building Area**						
S.F. per Student (1150 enrollment in Claremont)			718,423 625			718,423 625
CMC Proposed Master Plan Campus Building Area						
S.F. per Student (1400 enrollment in Claremont)			1,441,311 1,030			1,441,311 1,030
Pomona College 2003 Master Plan Campus Area (For Comparison)						
S.F. per Student			1,979,897 1,365			1,979,897 1,365

△ = 0

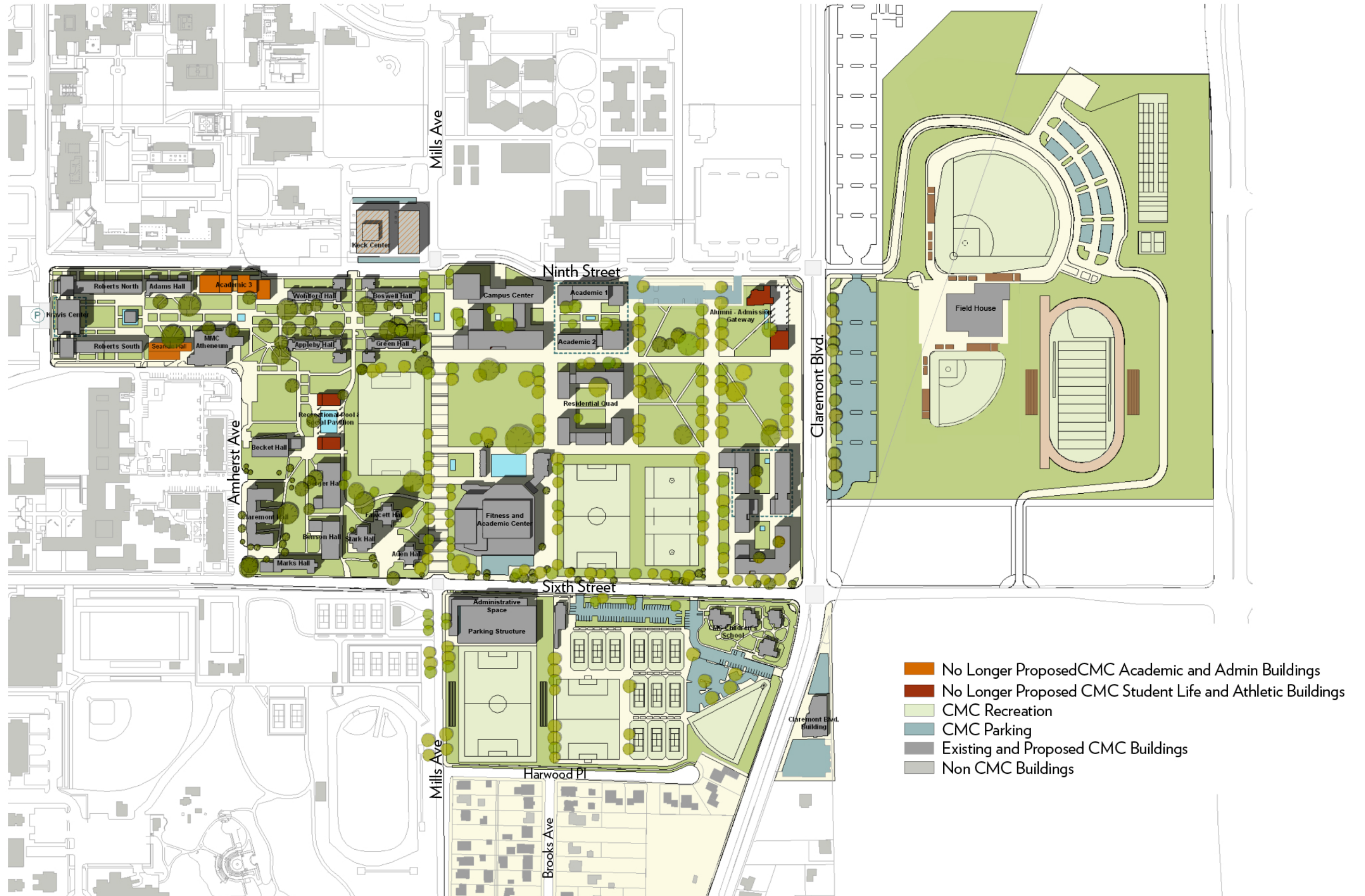
** Including Kravis Center - 53,587 gsf of Keck Science Center allocated to Pitzer and Scripps Colleges

2012 City of Claremont Approved Master Plan: Existing and Proposed Uses*



* Reference page 15 of the June 2012 Claremont McKenna College Master Plan approved by the City of Claremont.

2012 City of Claremont Approved Master Plan: Buildings No Longer Proposed

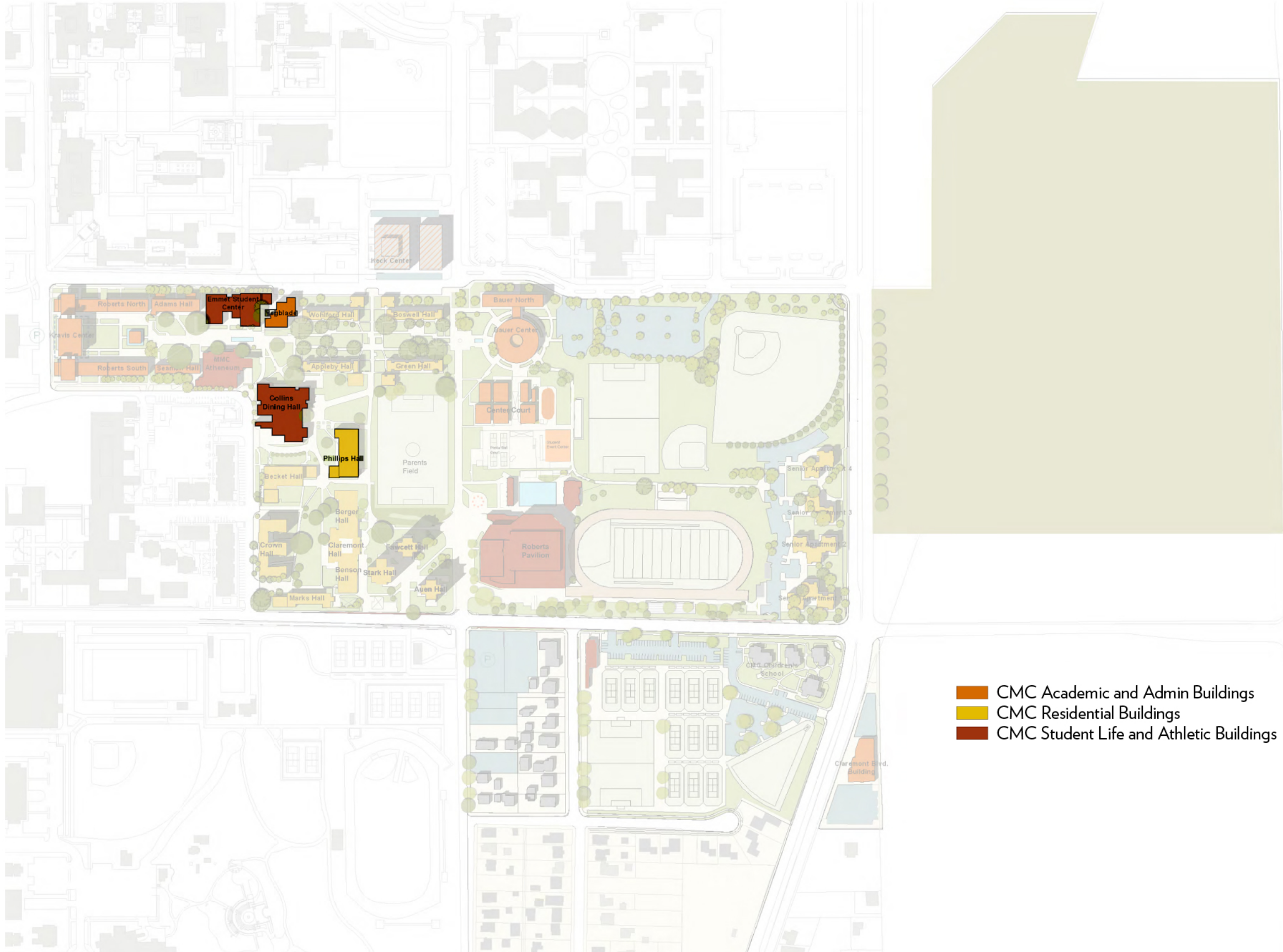


2020 Existing Campus



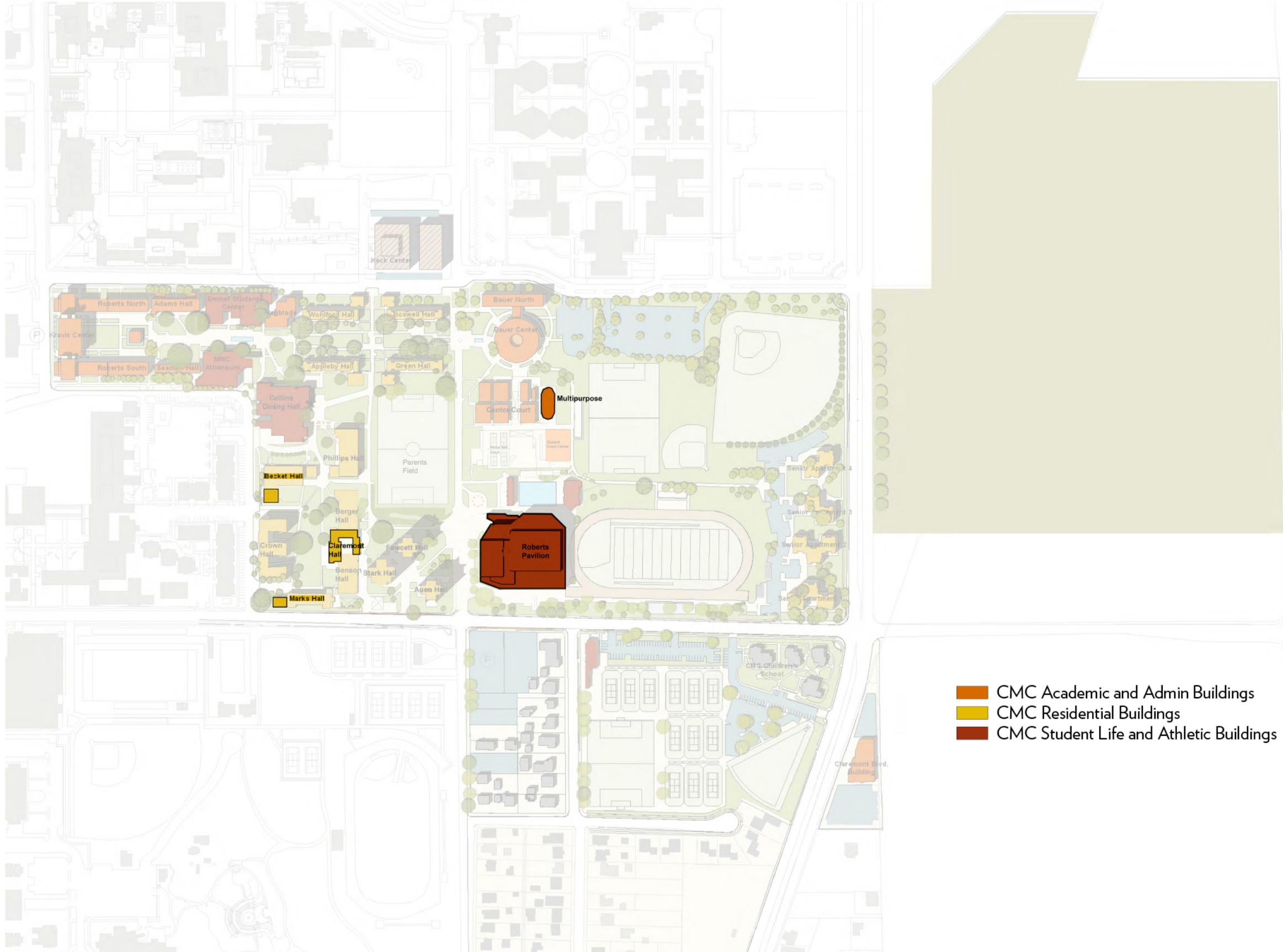
- Existing CMC Academic Buildings
- Existing CMC Residential Buildings
- Existing CMC Student Life Buildings
- CMC Recreation
- CMC Parking
- Off-Campus Existing CMC Buildings
- Non CMC Buildings

2020 Master Plan Update: Existing to Remain (Proposed Removal in 2012 MP)

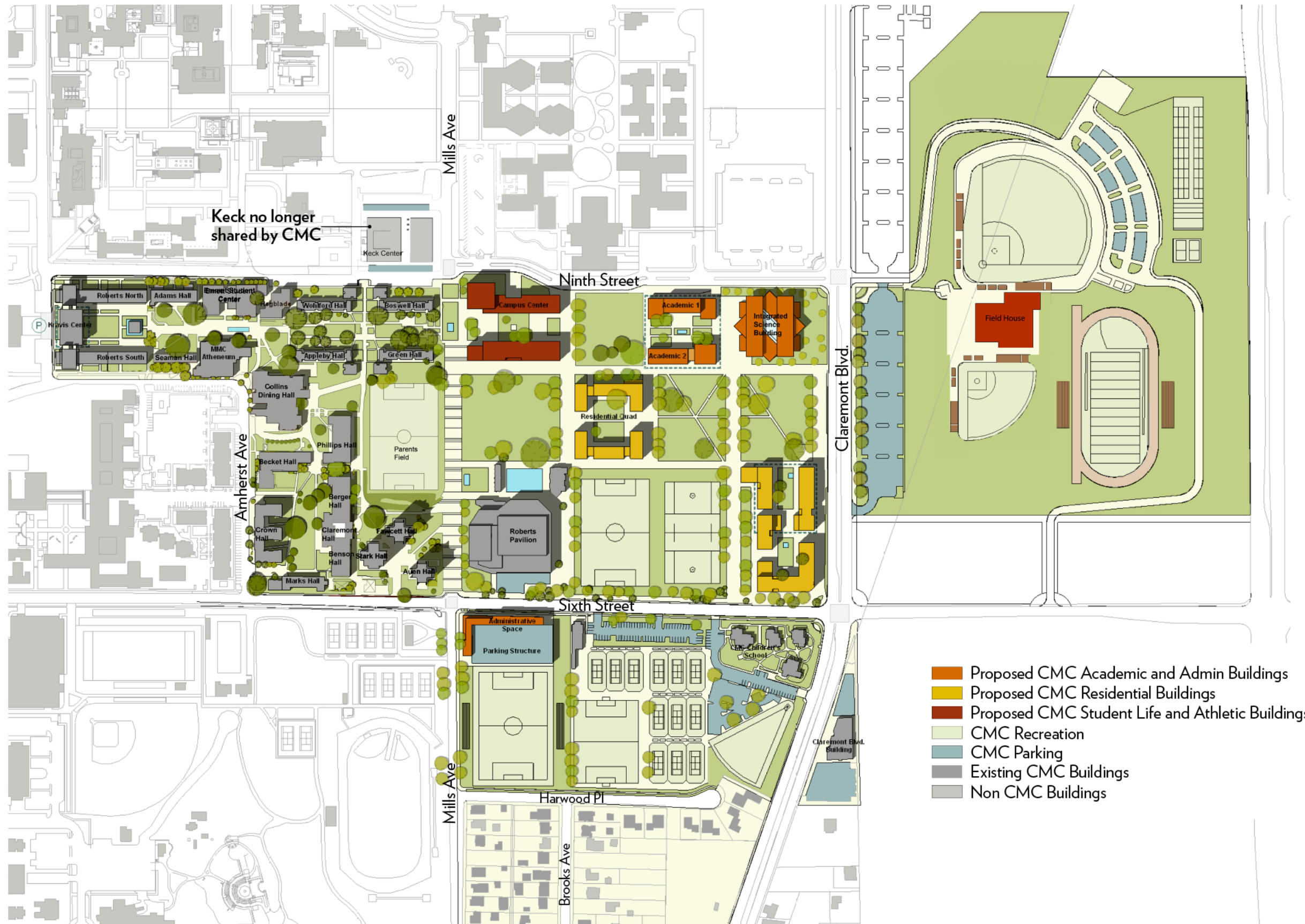


- CMC Academic and Admin Buildings
- CMC Residential Buildings
- CMC Student Life and Athletic Buildings

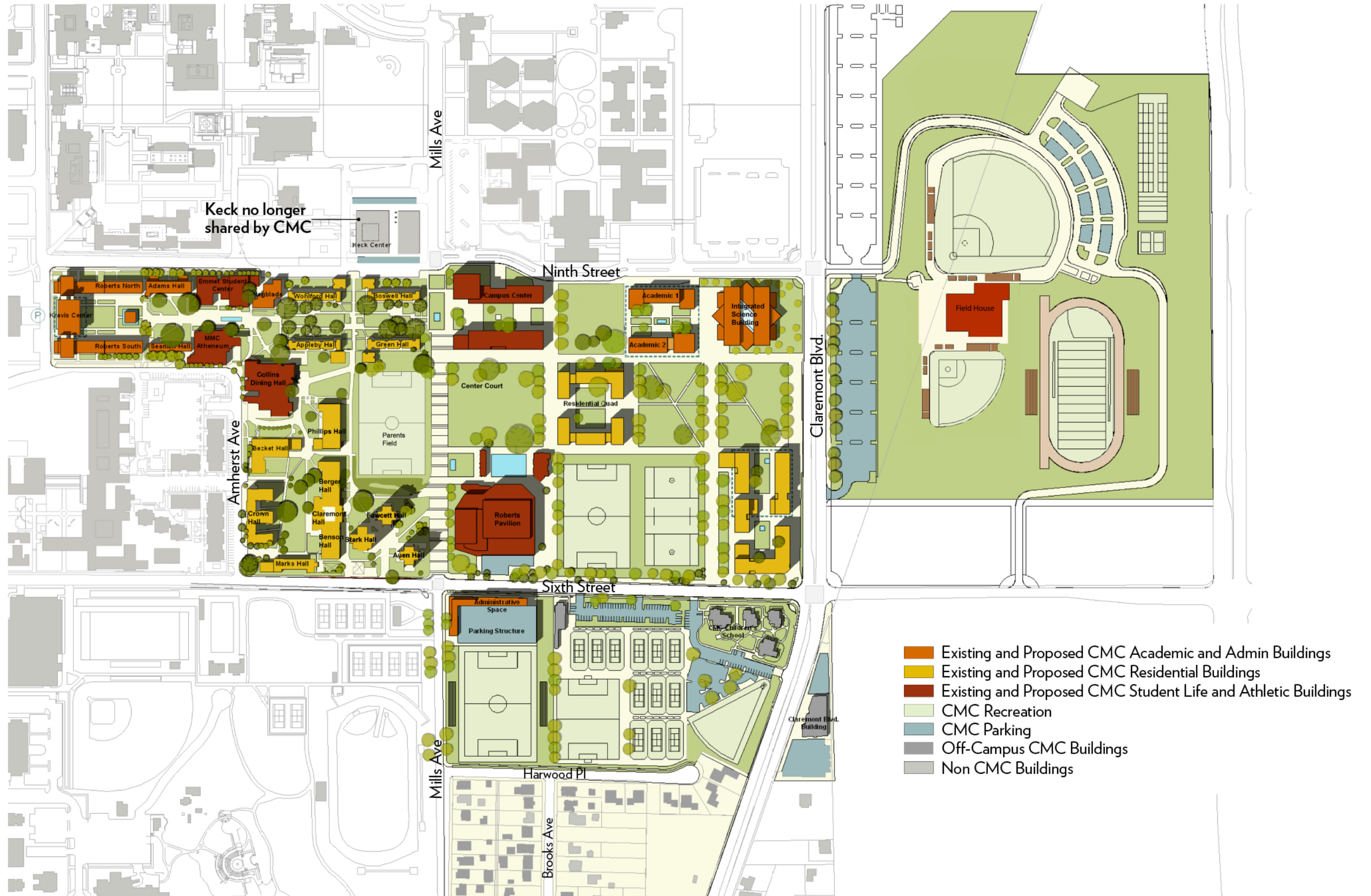
2020 Master Plan Update: Built After 2012 Master Plan



2020 Master Plan Update: Proposed Uses



2020 Master Plan Update: Existing and Proposed Uses

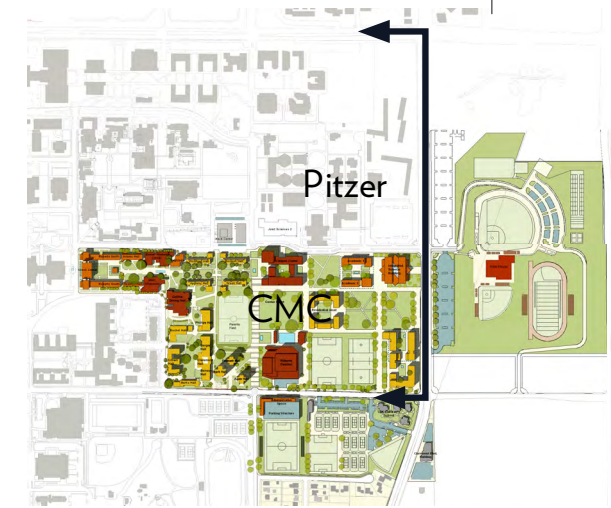
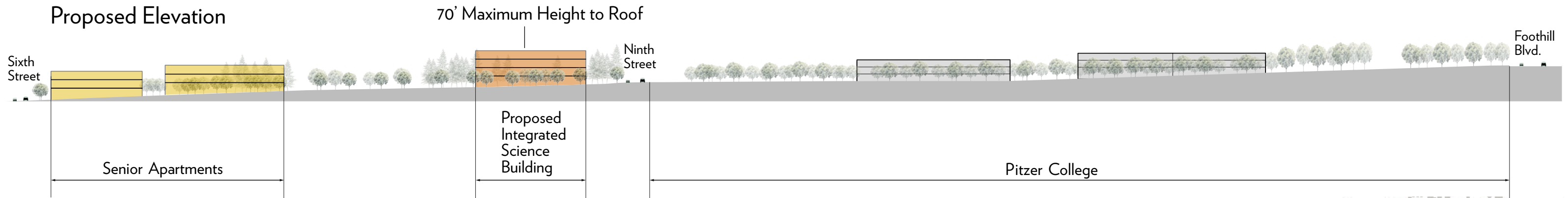


Elevation of Claremont Boulevard from Sixth Street to Foothill Boulevard

Existing Elevation



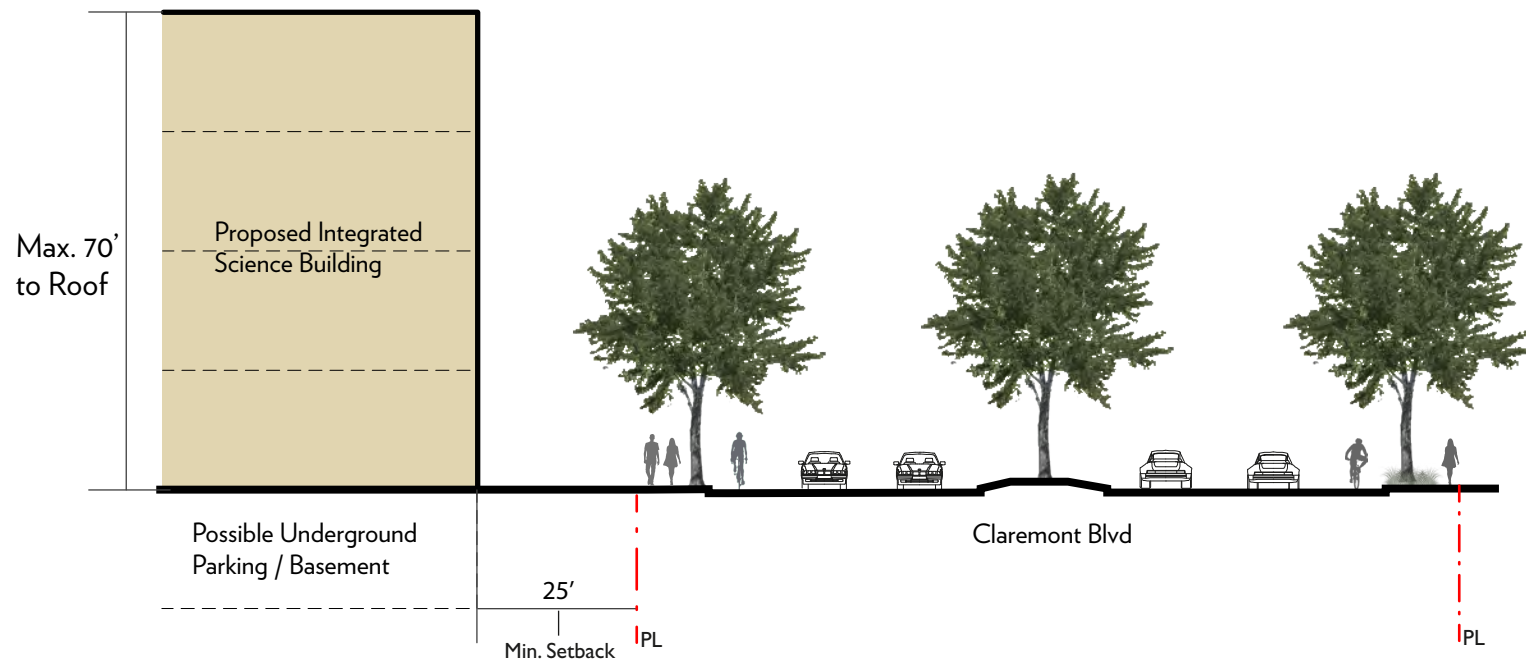
Proposed Elevation



Key Plan

Height and Setback Diagrams at Integrated Science Building

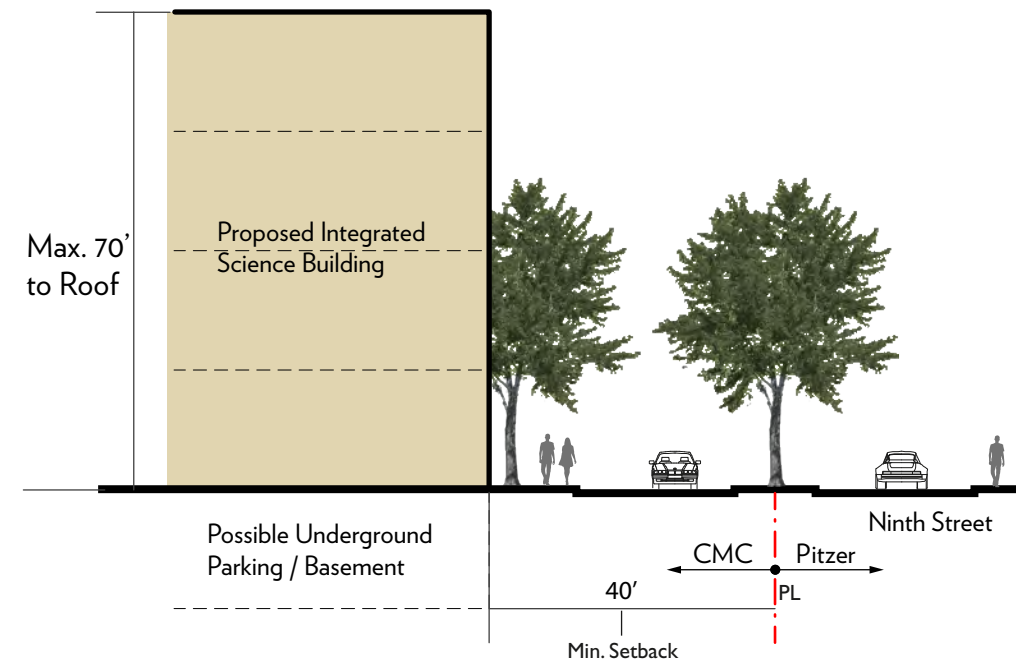
Section L-L: Claremont Blvd. at Proposed Integrated Science Building



The proposed Science Building will have up to five levels, of which no more than four levels will be above ground.

Height: Science Building will be no taller than 70 feet to roof.
Setback: Science Building will be set back at least 25 feet from Claremont Blvd. property line (Section L-L).

Section M-M: Ninth Street at Proposed Integrated Science Building



The proposed Science Building will have up to five levels, of which no more than four levels will be above ground.

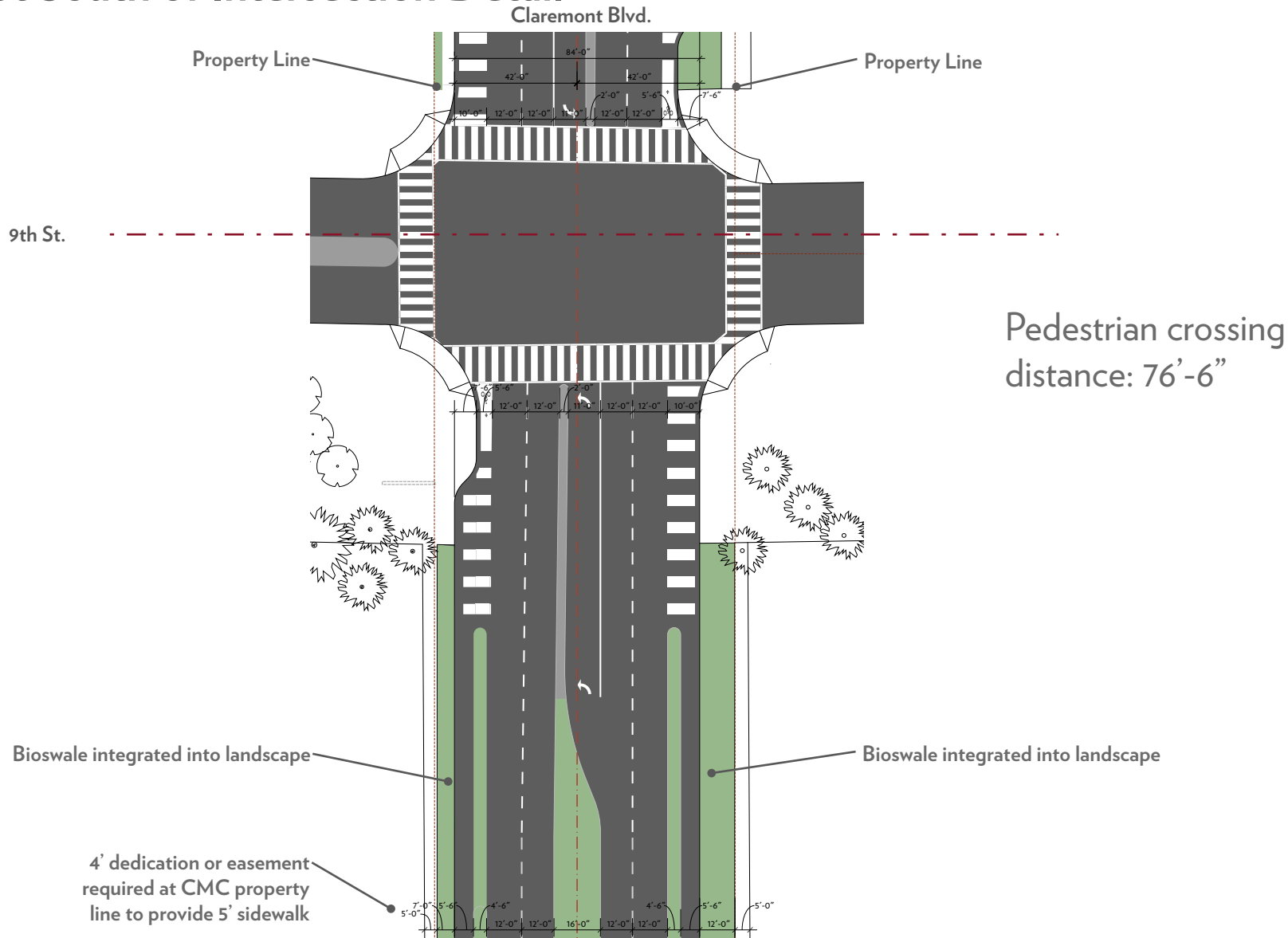
Height: Science Building will be no higher than 70 feet.
Setback: Science Building will be set back at least 40 feet from Ninth Street property line (Section M-M).



Key Plan

9th St. and Claremont Blvd.: Proposed Bulb Outs & Dedicated Bike Lanes Concept South of Intersection Detail

Attachment B

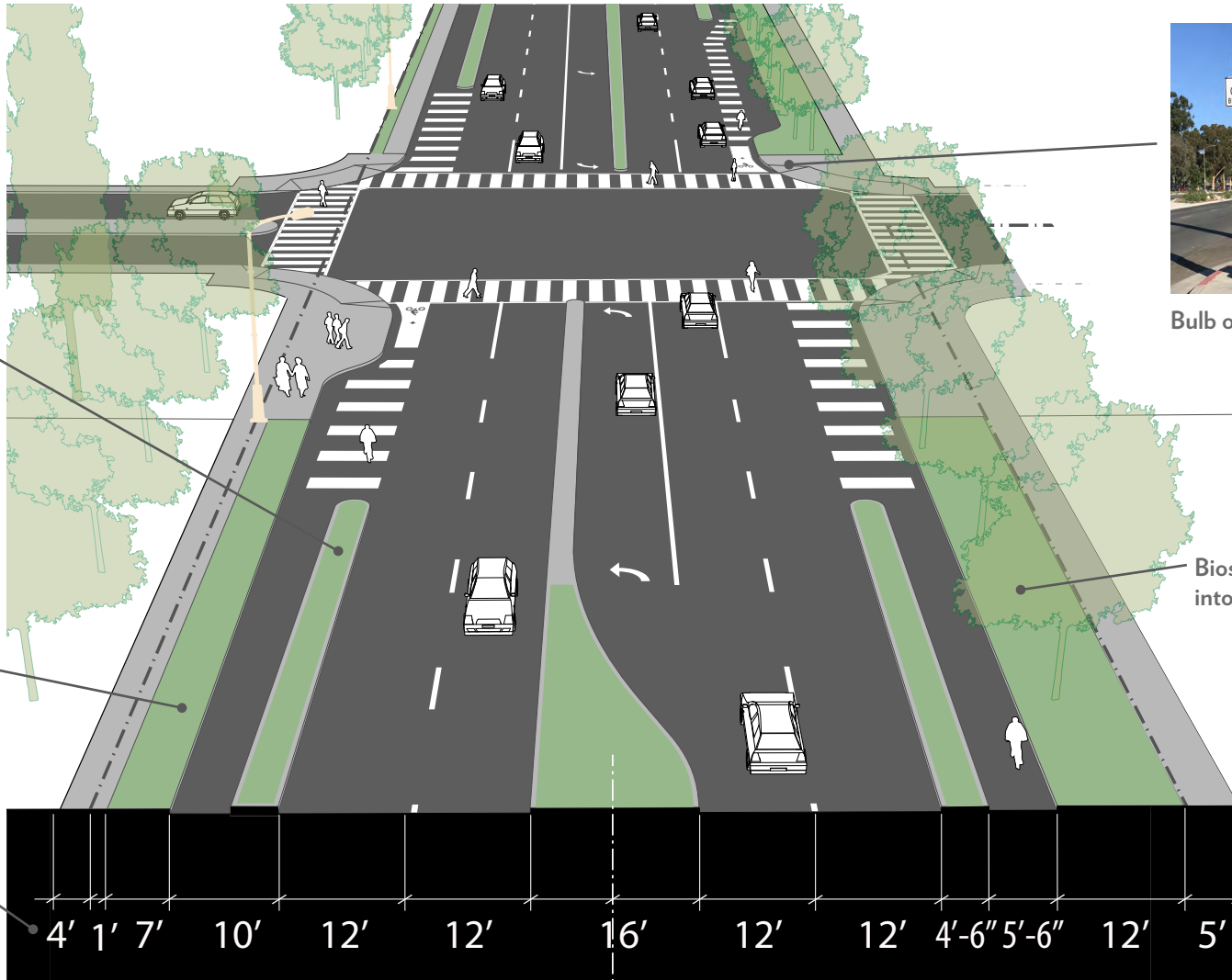


9th St. and Claremont Blvd.: Proposed Bulb Outs & Dedicated Bike Lanes Concept

ment B

Claremont Blvd.

9th St.



Bulb out precedent

Bioswale integrated into landscape



Bike median precedent



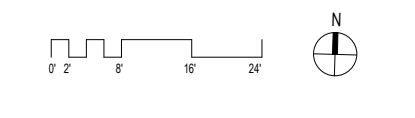
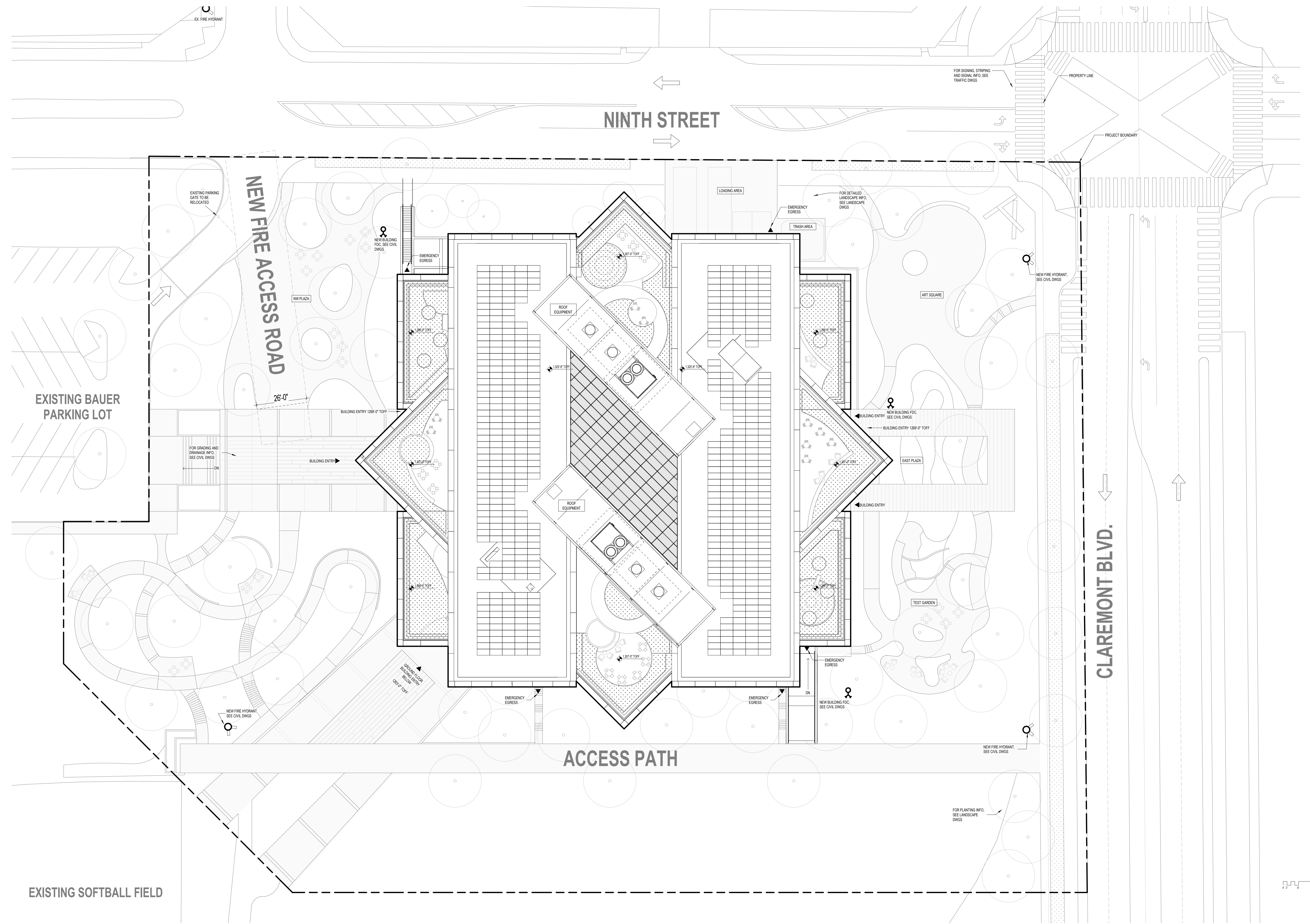
Bioswale precedent

4' dedication or easement required at CMC property line to provide 5' sidewalk

PLANS

SITE PLAN

EXCERPTS FROM APPROVED PLANS FOR SCIENCE CENTER



BUILDING DESIGN



AXONOMETRIC VIEW

BUILDING DESIGN



VIEW FROM CLAREMONT BLVD AND 9TH ST

BUILDING DESIGN

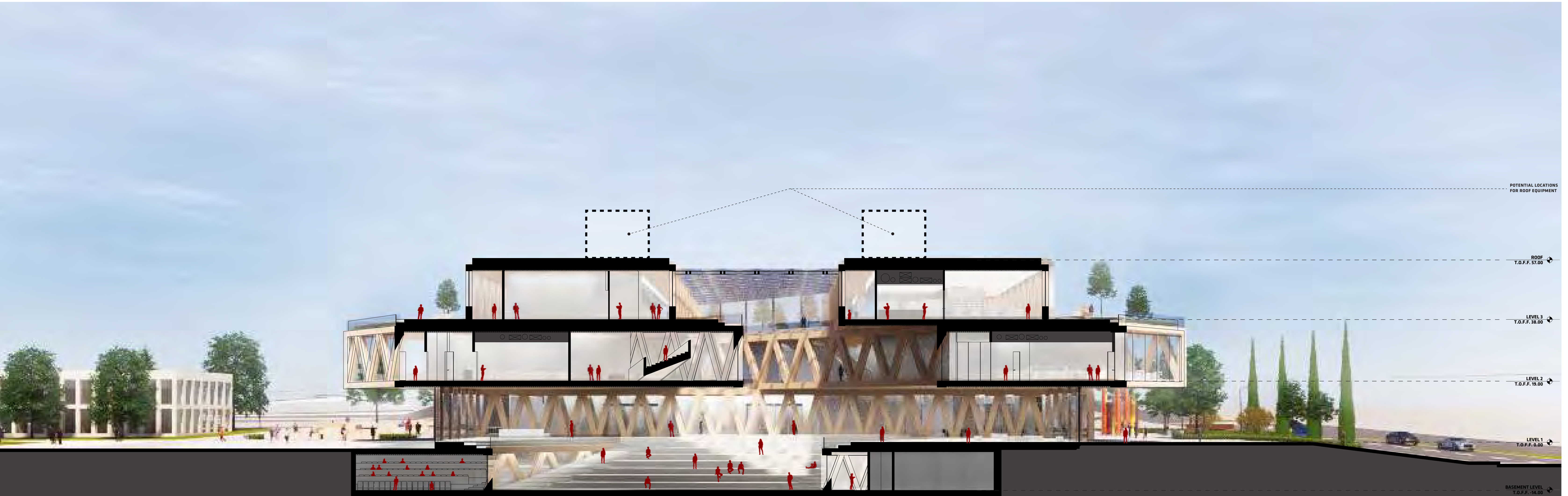


VIEW OF INTERIOR ATRIUM

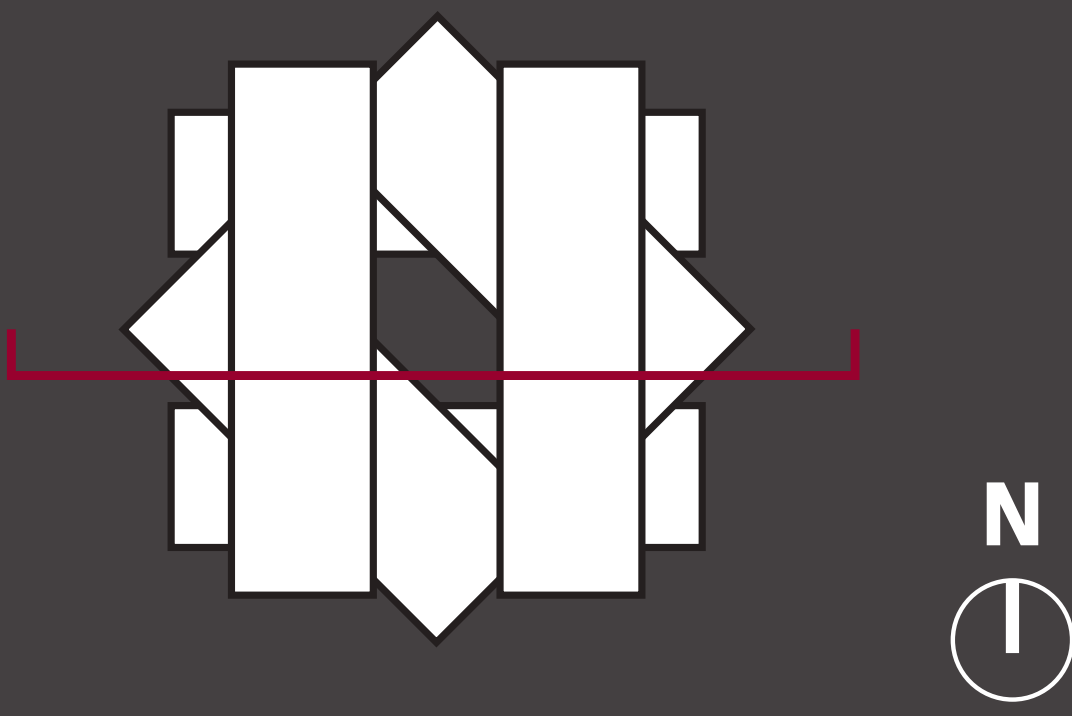
ELEVATIONS



BUILDING SECTION



SECTION PERSPECTIVE
SECTION AA - ATRIUM



STREET PERIMETER

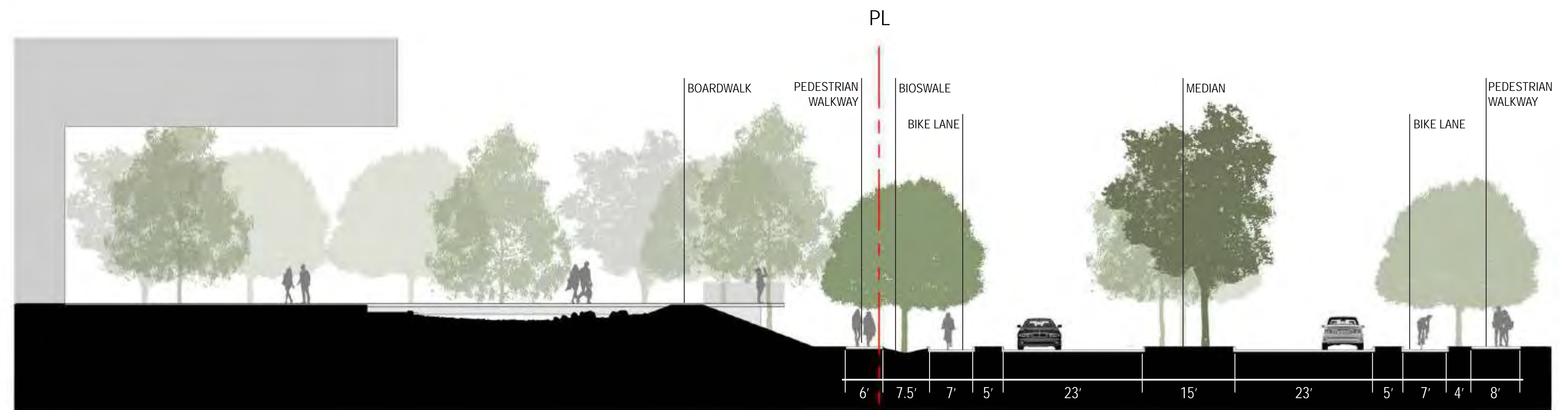
CLAREMONT BLVD.



QUERCUS AGRIFOLIA
coastal live oak
24" BOX MIN.



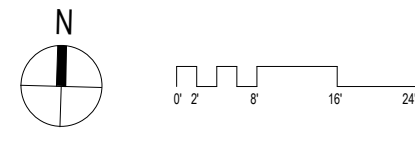
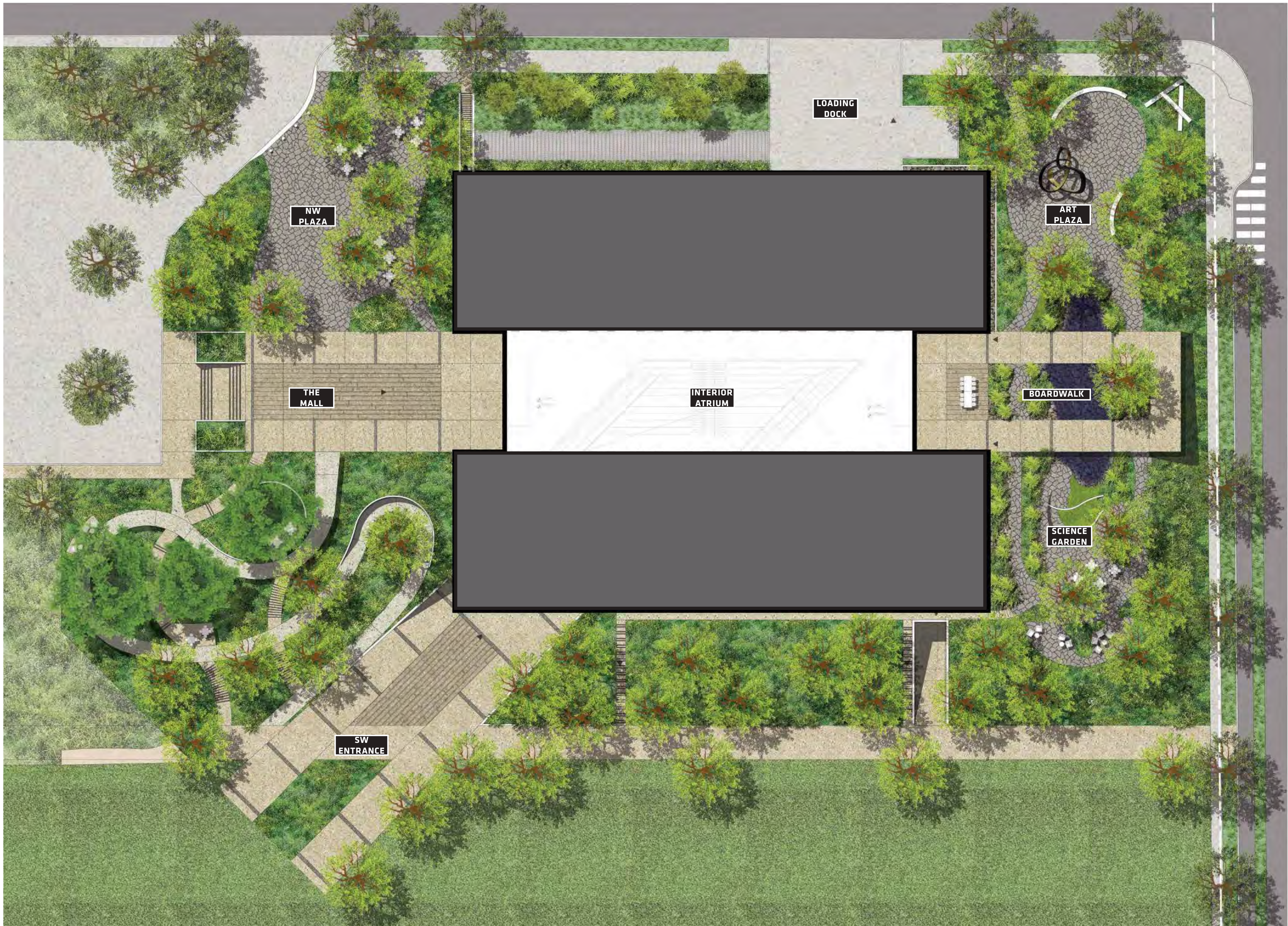
QUERCUS LOBATA
valley oak
24" BOX MIN.



A-A SECTION CLAREMONT BLVD.

LANDSCAPE PLAN

CURRENT SITE





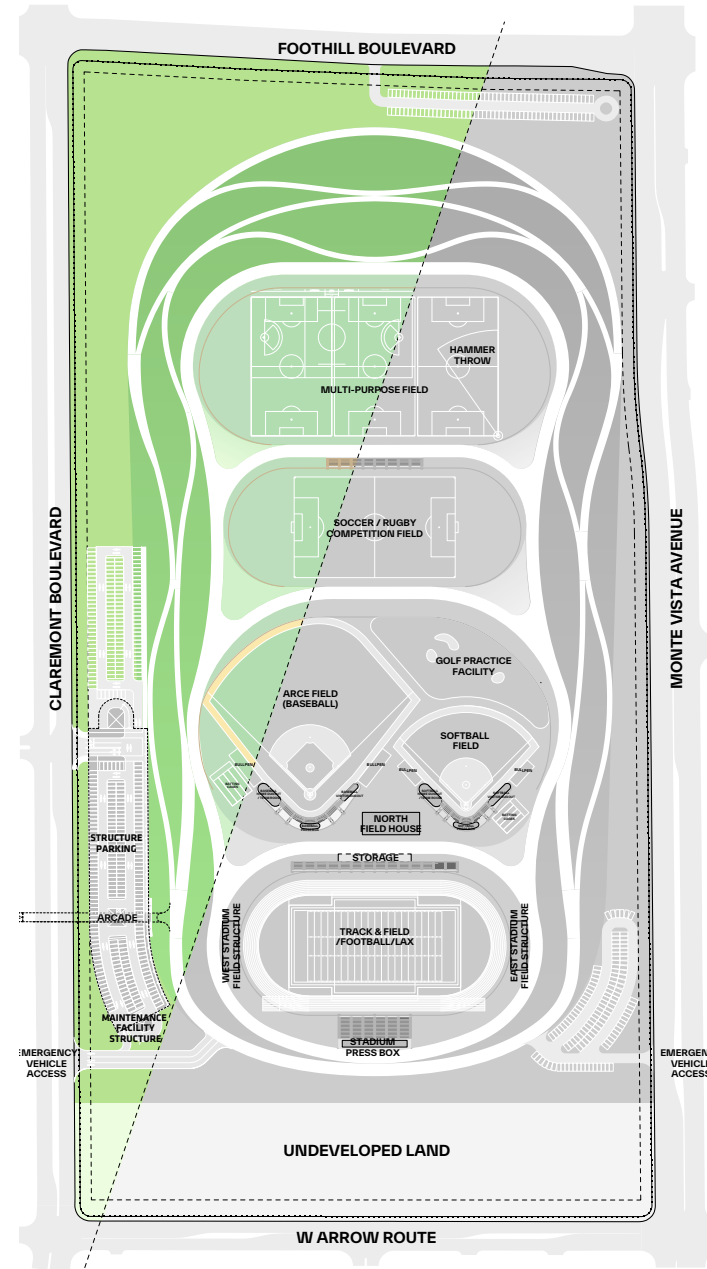
CLAREMONT MCKENNA COLLEGE

ROBERTS CAMPUS SPORTS BOWL

CLAREMONT ARCHITECTURAL COMMISSION MEETING REVIEW
2024.07.24



2016 DEVELOPMENT AGREEMENT



SITE PLAN

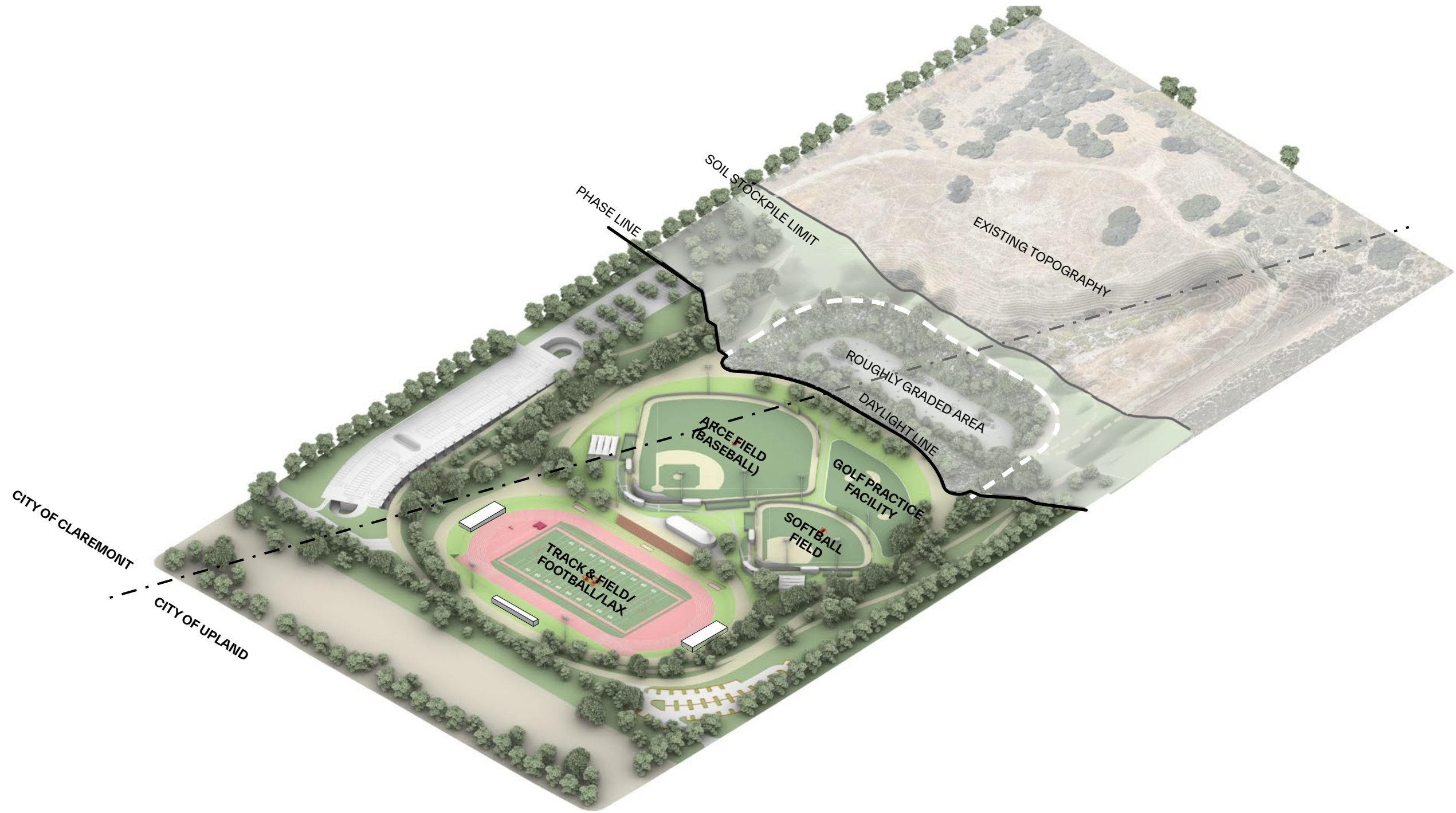
CONCEPTUAL SITE PLAN COMPARISON



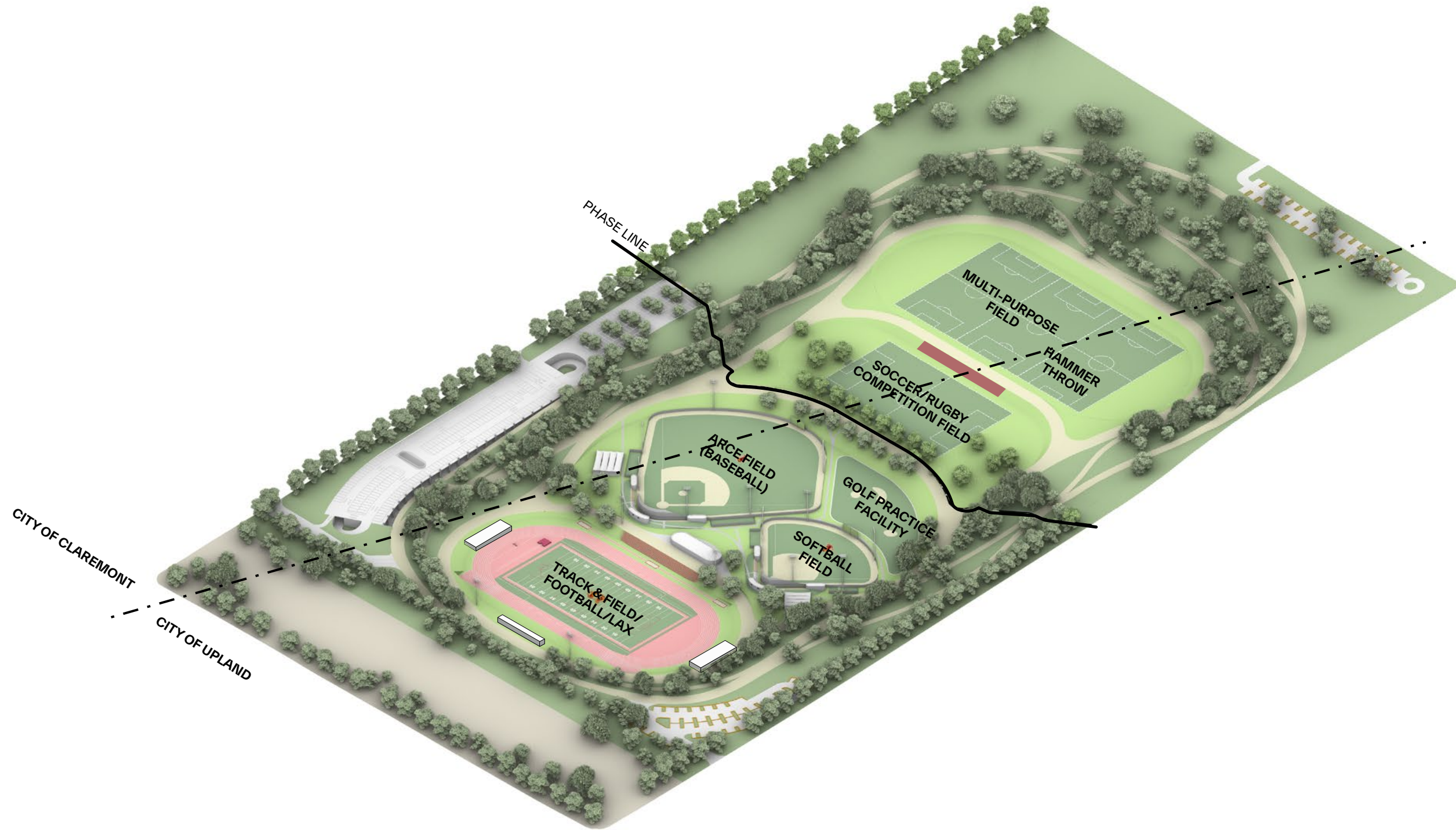
**ROBERTS CAMPUS EAST
SPORTS BOWL**

**CLAREMONT
UPLAND**

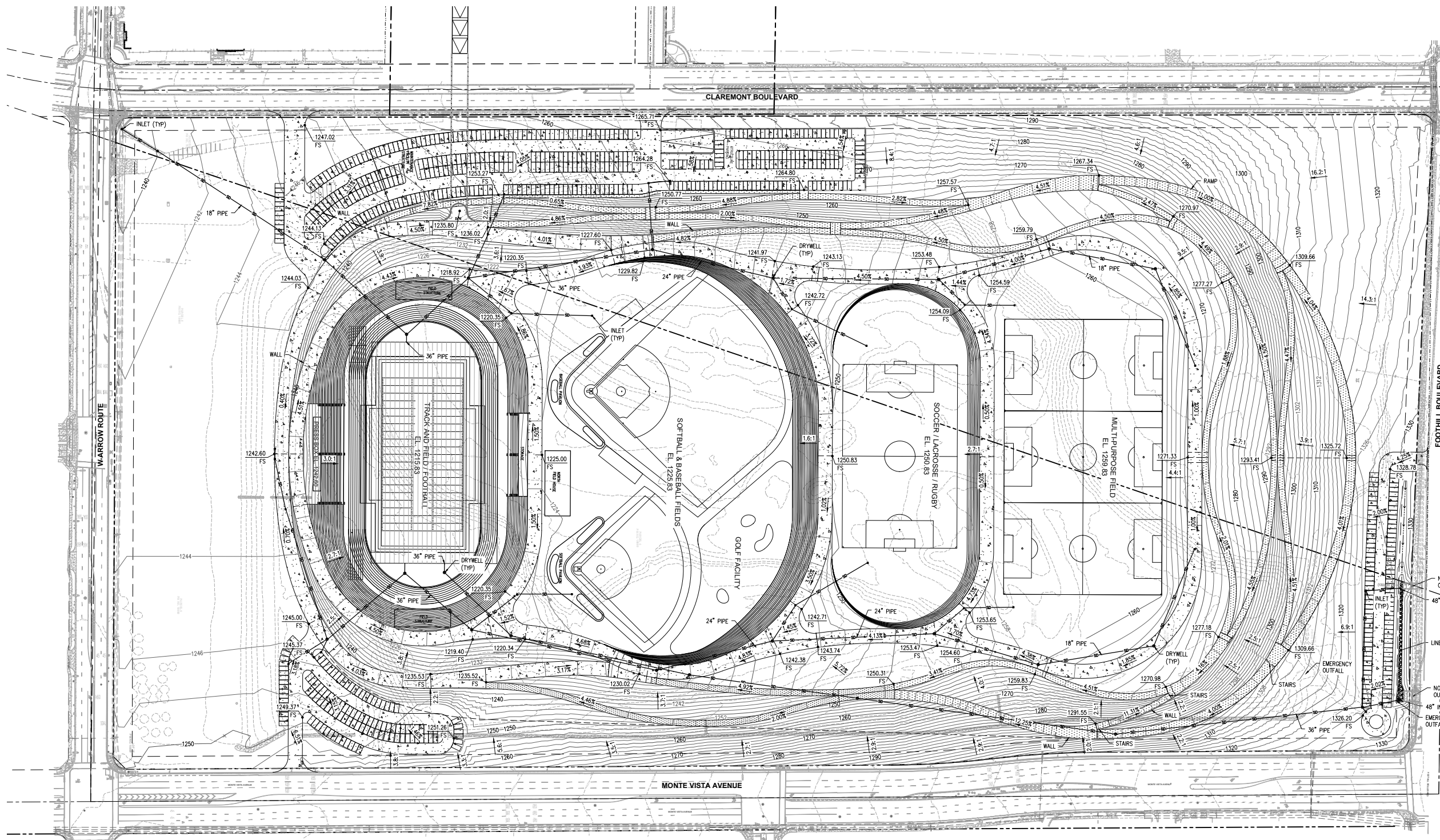




PHASE 1



COMPLETE

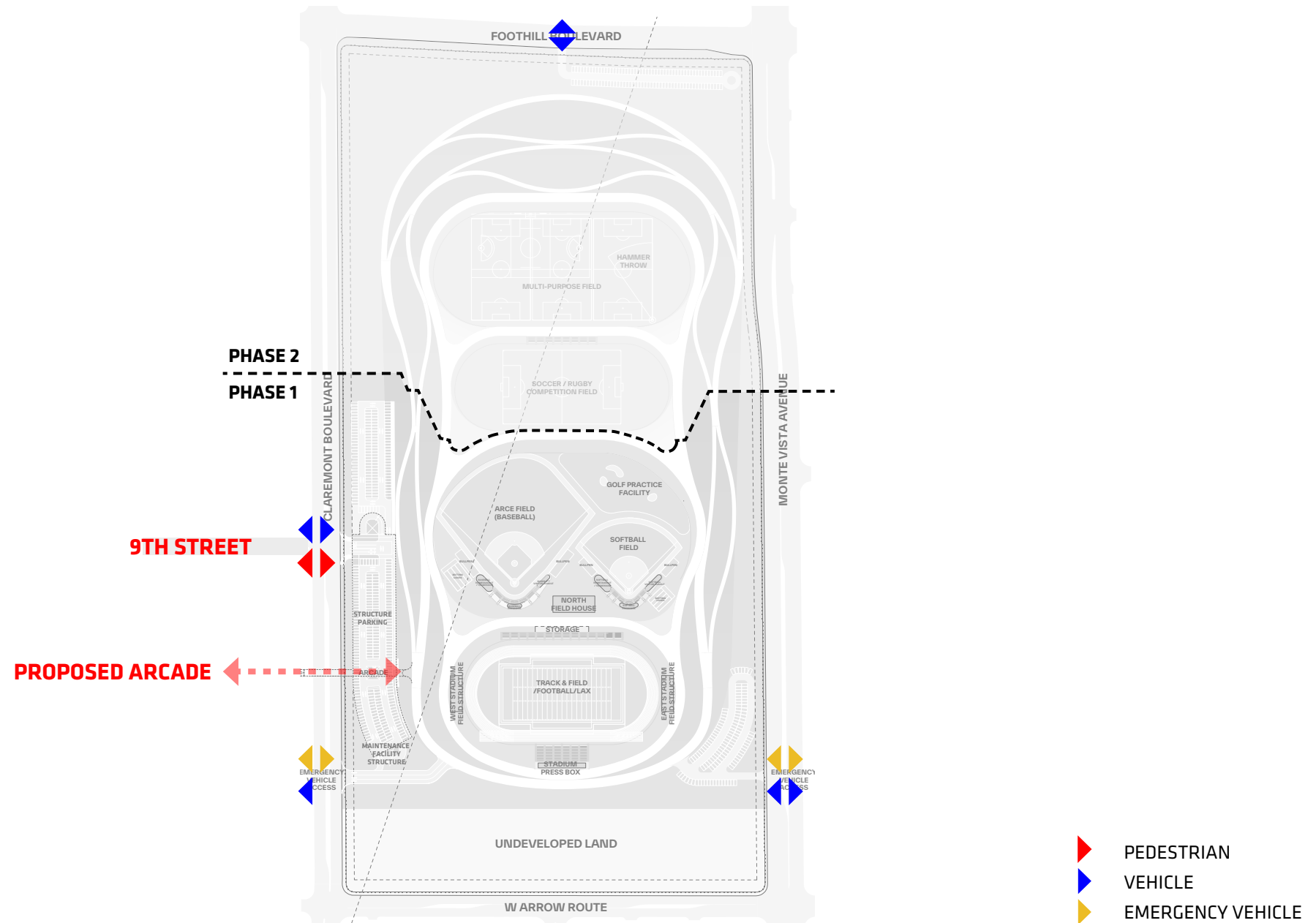


LEGEND

- PROPERTY BOUNDARY LINE
- CENTERLINE
- EXISTENCE LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED CONCRETE
- PROPOSED DG PATHS
- STORM DRAIN
- STORM DRAIN MANHOLE
- DRY WELL

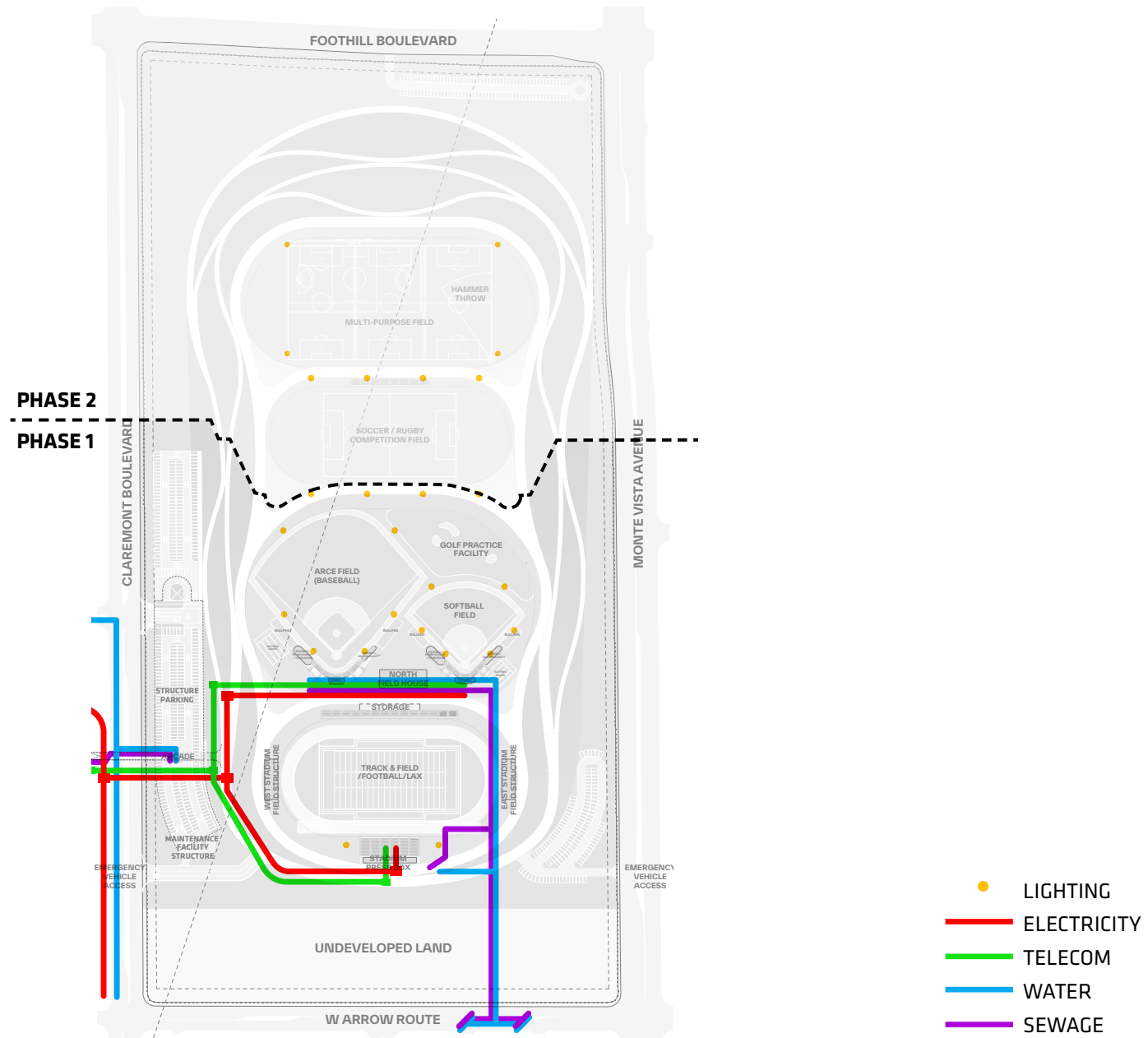
GRAPHIC SCALE
1" = 80'

ROUGH GRADING CONCEPT: PHASE 2 DEVELOPMENT



ACCESS





CONCEPTUAL UTILITY PLAN







PROTECTED BIKE LANE WITH PLANTED MEDIAN



DENSE SUCCULENT MIX FOR SCREENING AND TEXTURE



INTEGRATED LANDSCAPE LAYERS



CURB CUTS FEED INTO BIOSWALE



SPARSE PLANTING HIGHLIGHTS BIOSWALE



LARGE BOULDERS, GRAVEL, AND GRASS MIX

FOOTHILL BOULEVARD STREETScape
CLAREMONT, CA

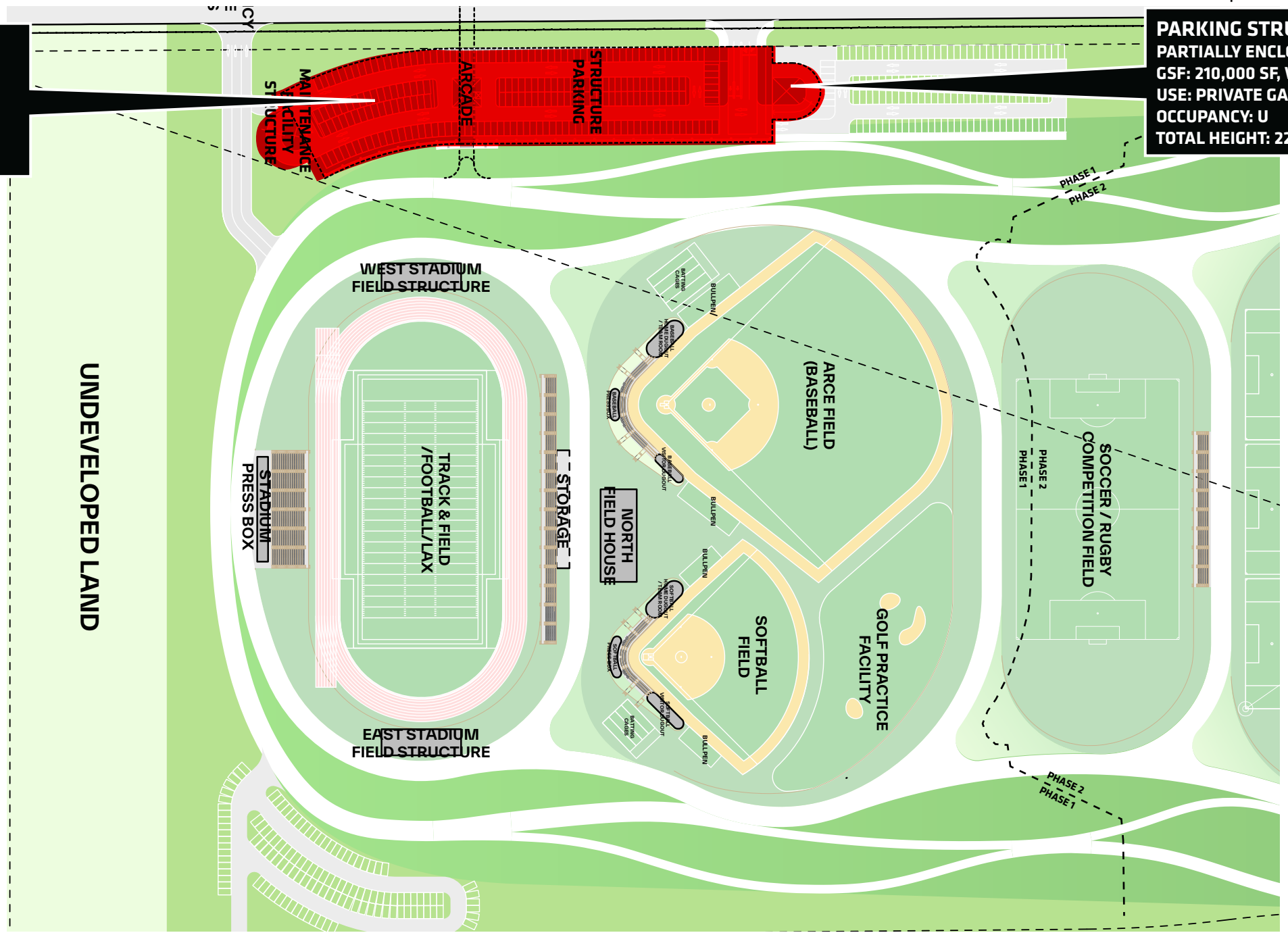
WHITTIER GREENWAY TRAIL
WHITTIER, CA

UCSD KEELING APARTMENTS
SAN DIEGO, CA

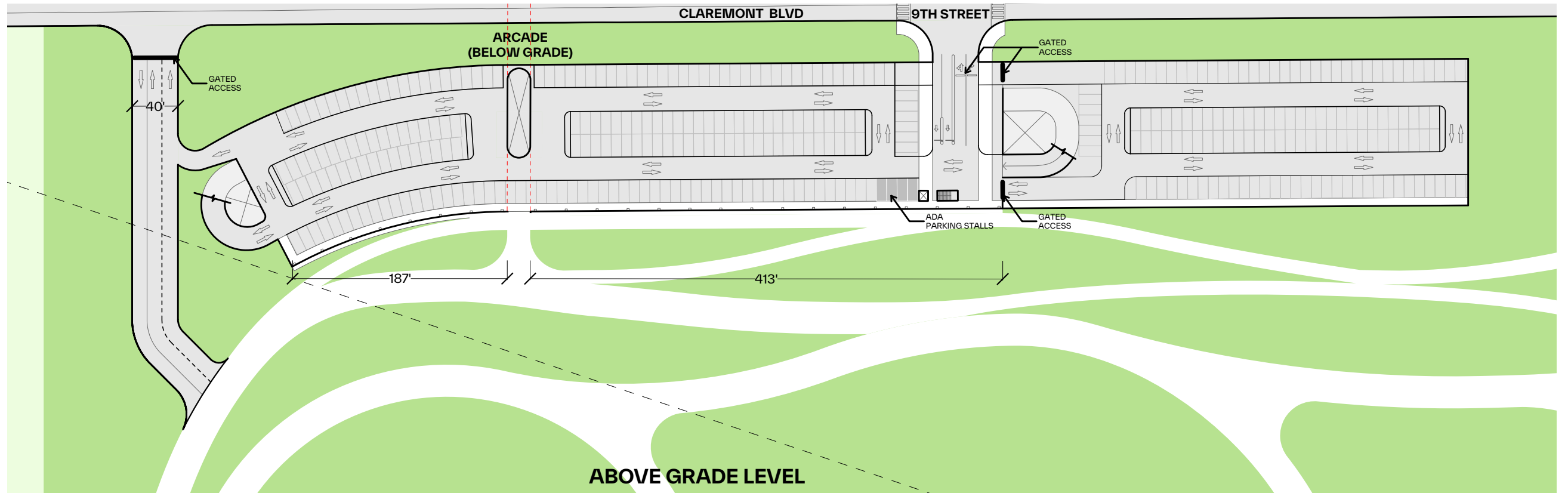
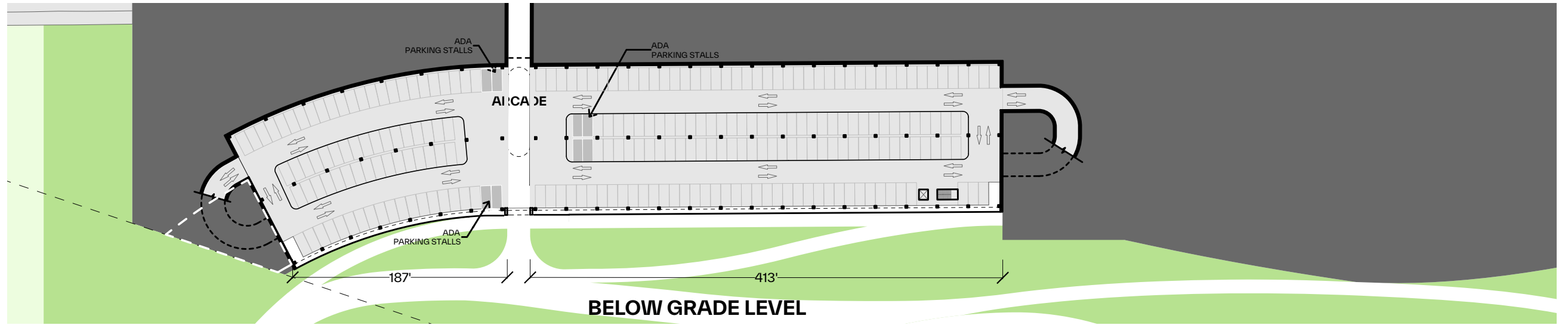
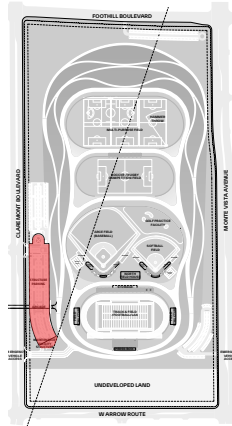
BIOSWALE PLANTING PRECEDENT IMAGES

MAINTENANCE FACILITY STRUCTURE
 GSF: 10,000 SF
 USE: STORAGE, OFFICE, LOCKERS
 OCCUPANCY: B
 TOTAL HEIGHT: 9'-0"

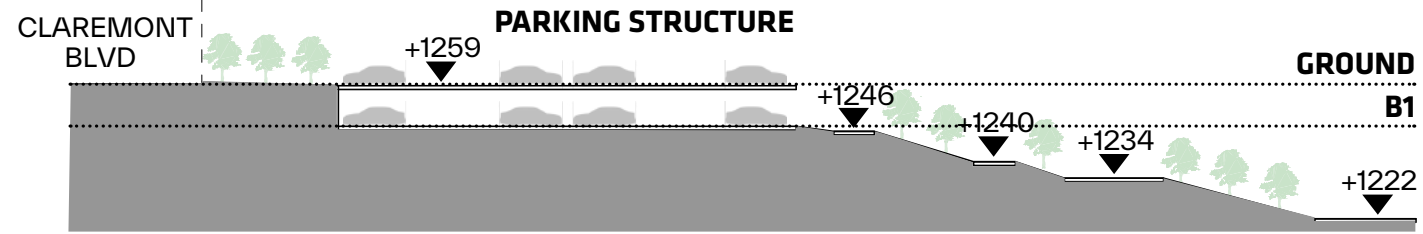
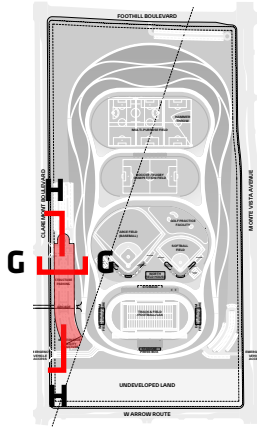
PARKING STRUCTURE (UNENCLOSED ABOVE GRADE & PARTIALLY ENCLOSED BELOW GRADE)
 GSF: 210,000 SF, WITH 470 PARKING STALLS
 USE: PRIVATE GARAGE
 OCCUPANCY: U
 TOTAL HEIGHT: 22'-0"



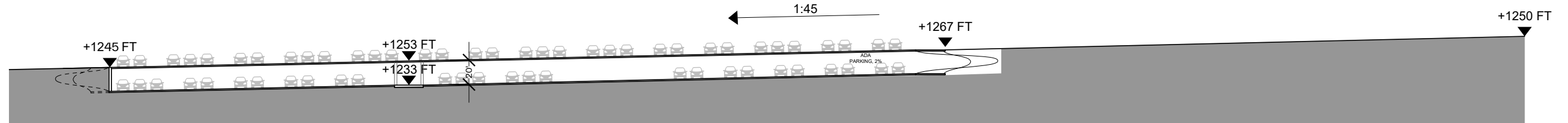
PHASE 1: PARKING STRUCTURE, MAINTENANCE FACILITY & ARCADE



PARKING STRUCTURE & MAINTENANCE FACILITY_CONCEPTUAL PLAN



SECTION G



SECTION H

PARKING STRUCTURE & MAINTENANCE FACILITY_CONCEPTUAL SECTION



CONC-02



CAST IN PLACE
CONCRETE 02

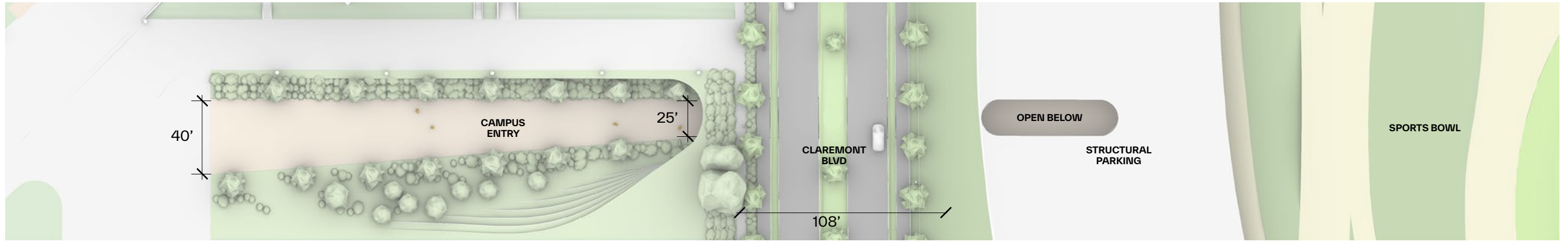
CONC-03



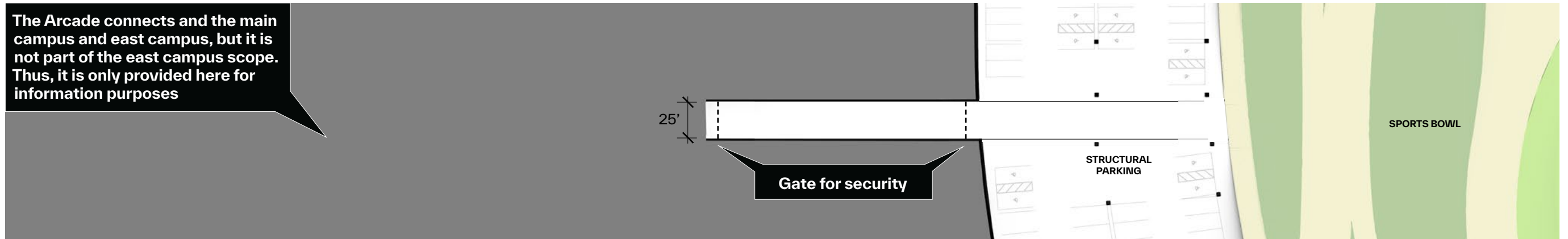
CAST IN PLACE
CONCRETE 03

The Arcade connects the main campus and east campus, but it is not part of the east campus scope. Thus, it is only provided here for information purposes

ARCADE_MATERIAL & DETAIL CONCEPT

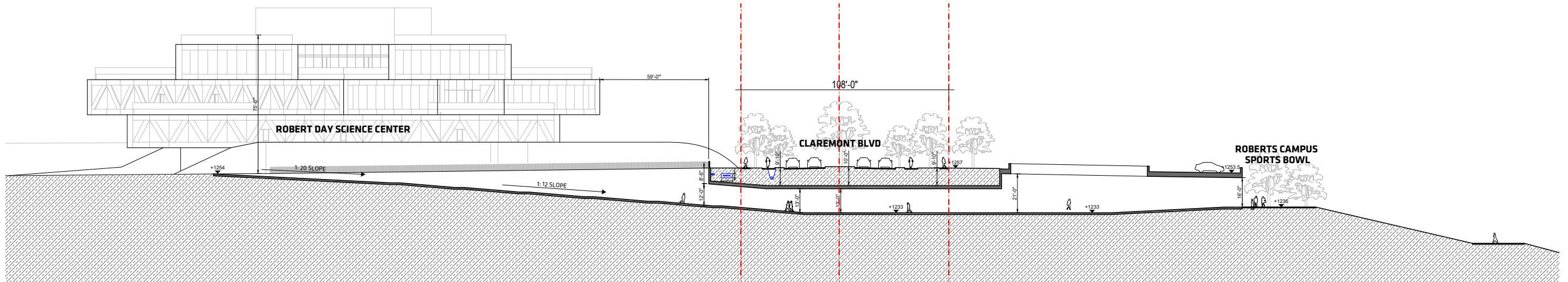


ABOVE GRADE LEVEL PLAN



The Arcade connects the main campus and east campus, but it is not part of the east campus scope. Thus, it is only provided here for information purposes

BELOW GRADE LEVEL PLAN

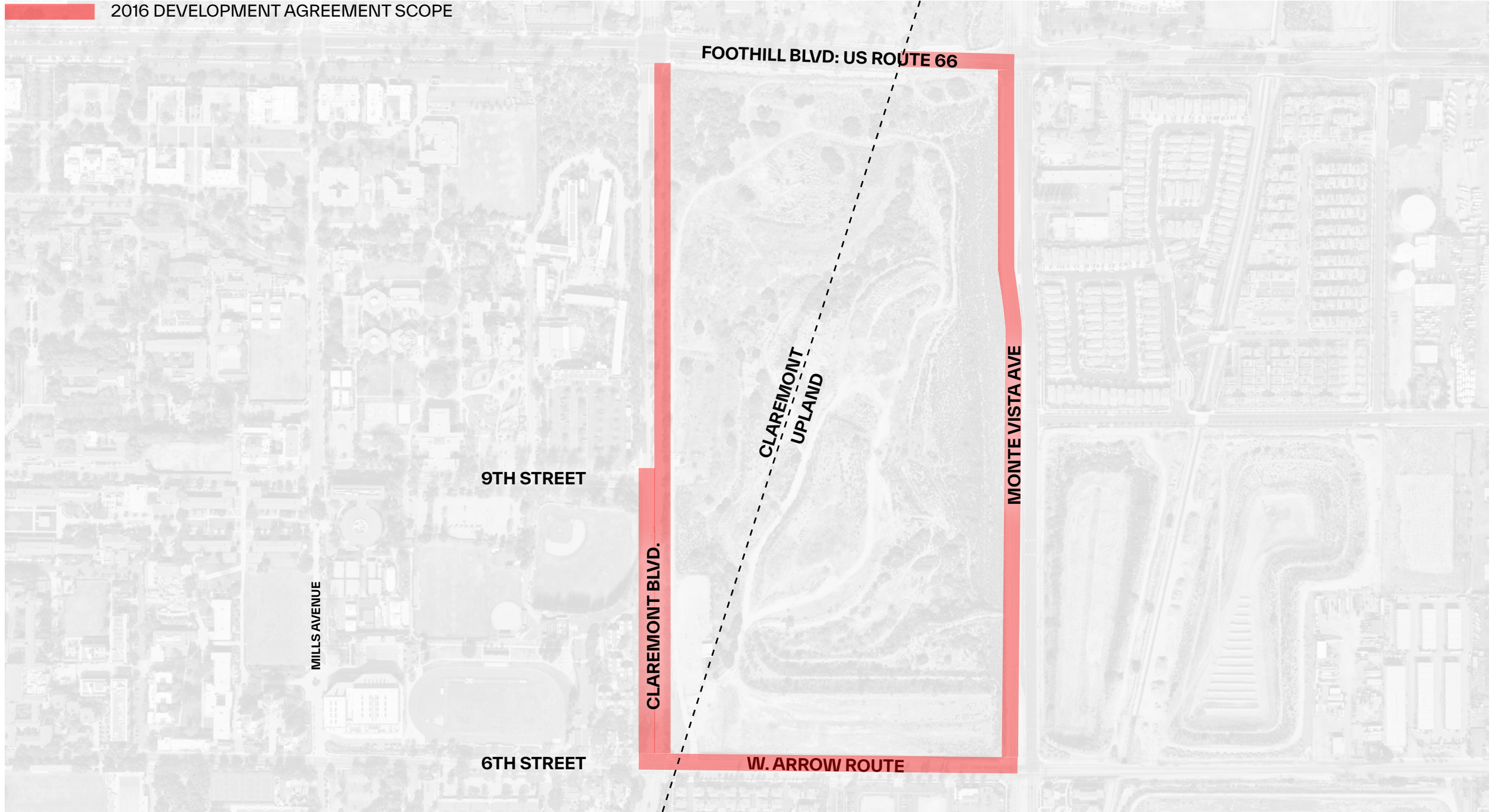


EW SECTION

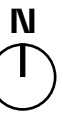
ARCADE_CONCEPTUAL PLAN & SECTION

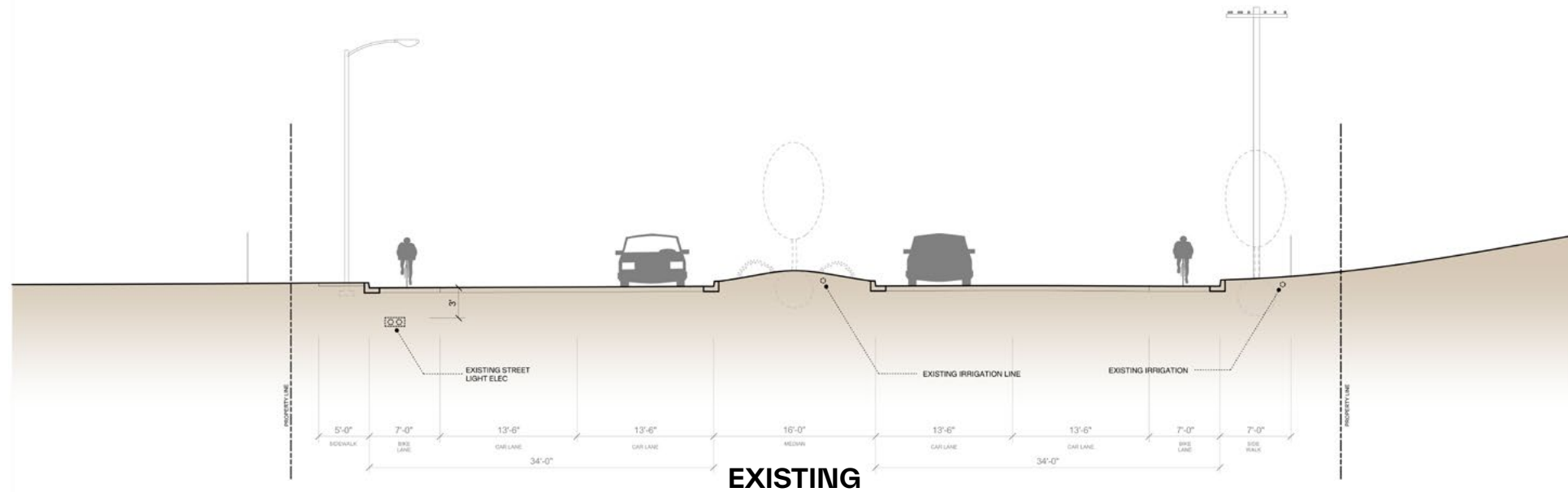


ARCADE: SKYLIGHT & STAIRCASES

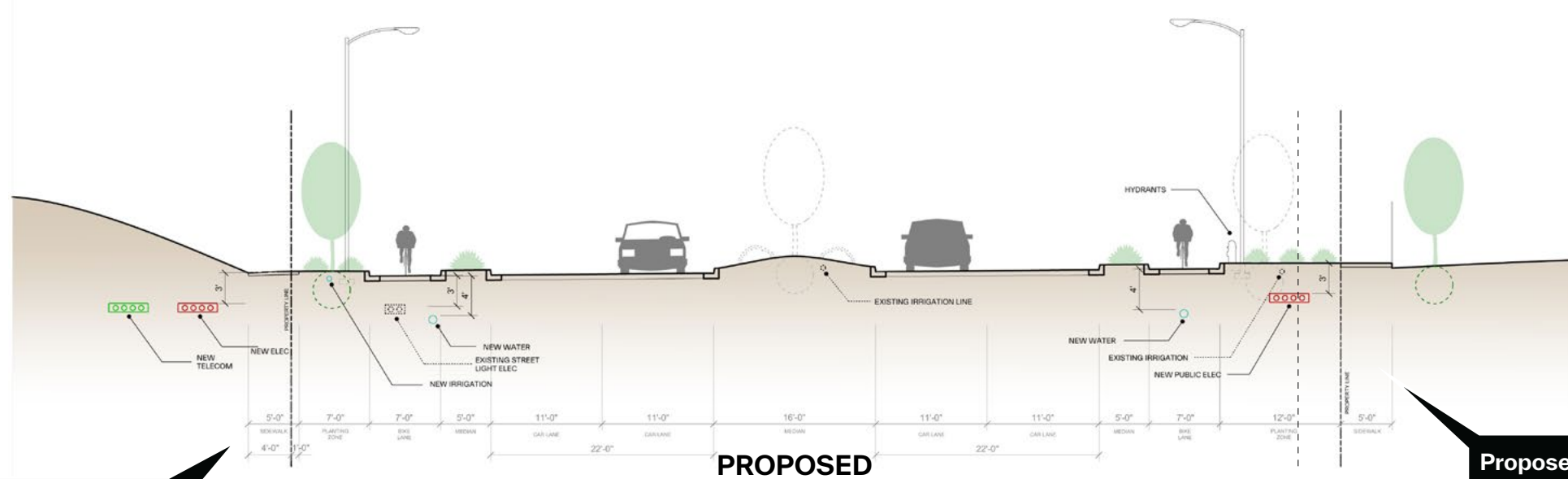


PERIMETER IMPROVEMENT MAP





EXISTING

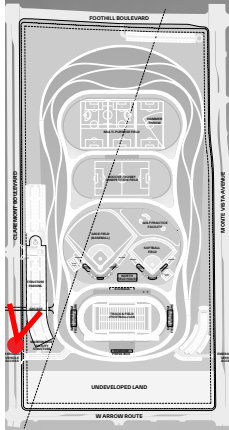


PROPOSED

Proposed additional 4' wide dedication to the City of Claremont for public road and utility purposes

Proposed additional 9' wide dedication

CLAREMONT BLVD IMPROVEMENT



CLAREMONT BLVD IMPROVEMENT